



Zoning & Planning Committee Agenda

City of Newton In City Council

Monday, September 14, 2020

7:00 PM

The Zoning and Planning Committee will hold this meeting as a virtual meeting on Monday, September 14, 2020 at 7pm. To view this meeting using Zoom use this link: <https://us02web.zoom.us/j/86119779578> or call 1-646-558-8656 and use the following Meeting ID: 861 1977 9578.

Items Scheduled for Discussion:

- #345-20** **Appointment of Alan Mayer to the Newton Historical Commission**
HER HONOR THE MAYOR appointing ALAN MAYER, 479 Walnut Street, Newton, as an at-large member of the NEWTON HISTORICAL COMMISSION for a term to expire on September 30, 2023. (60 Days: 11/07/2020)
- #88-20** **Discussion and review relative to the draft Zoning Ordinance**
DIRECTOR OF PLANNING requesting review, discussion, and direction relative to the draft Zoning Ordinance.
Zoning & Planning Held 8-0 on 08/13/2020
- #346-20** **Reappointment of Doug Cornelius to the Newton Historical Commission**
HER HONOR THE MAYOR reappointing DOUG CORNELIUS, 15 Lockwood Road, West Newton, as an at-large member of the NEWTON HISTORICAL COMMISSION for a term to expire on July 31, 2023. (60 Days: 11/07/2020)
- #347-20** **Reappointment of Peter Dimond to the Newton Historical Commission**
HER HONOR THE MAYOR reappointing PETER DIMOND, 18 Sterling Street, West Newton, as a full member of the NEWTON HISTORICAL COMMISSION for a term to expire on May 13, 2022. Mr. Dimond will be serving the three-year term to expiring May 2022. (60 Days: 18 Sterling Street, West Newton)

The location of this meeting is accessible and reasonable accommodations will be provided to persons with disabilities who require assistance. If you need a reasonable accommodation, please contact the city of Newton's ADA Coordinator, Jini Fairley, at least two business days in advance of the meeting: jfairley@newtonma.gov or (617) 796-1253. The city's TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

#348-20 Reappointment of Jeffrey Riklin to the Newton Upper Falls Historic District Commission
HER HONOR THE MAYOR reappointing JEFFREY RIKLIN, 37 High Street, Newton Upper Falls, as a full member of the NEWTON UPPER FALLS HISTORIC DISTRICT COMMISSION for a term to expire on July 31, 2023. (60 Days: 11/07/2020)

#349-20 Reappointment of Mark Armstrong to the Newton Historical Commission
HER HONOR THE MAYOR reappointing MARK ARMSTRONG, 61 Vaugh Avenue, Newton Highlands as a full member of the NEWTON HISTORICAL COMMISSION for a term to expire on July 23, 2023. (60 Days: 11/07/2020)

#350-20 Reappointment of Nancy Grissom to the Newton Historical Commission
HER HONOR THE MAYOR reappointing NANCY GRISSOM, 7 Orris Street, Auburndale, as a full member of the NEWTO HISTORICAL COMMISSION for a term to expire on July 10, 2021. (60 Days: 11/07/2020)

Chairs Note: *It is the Chair's intent to discuss scheduling of a public hearing relative to item #30-20 Ordinance amendment to repeal Zoning Ordinance 3.4.4 Garages.*

Respectfully Submitted,

Deborah J. Crossley, Chair



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Office of the Mayor

#345-20

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(617) 796-1089
Email
rfuller@newtonma.gov

July 24, 2020

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton, MA 02459

To the Honorable City Councilors:

I am pleased to appoint Alan Mayer of 479 Walnut Street, Newton as an at-large member of the Newton Historical Commission. His term of office shall expire on September 30, 2023 and his appointment is subject to your confirmation.

Thank you for your attention to this matter.

Warmly,

Ruthanne Fuller
Mayor

CITY CLERK
NEWTON, MA. 02459

2020 AUG 31 PM 12:31

RECEIVED

Application Form

Profile

Alan _____ Mayer _____
 First Name Middle Initial Last Name

 Email Address

479 Walnut Street _____
 Home Address Suite or Apt

Newton _____ MA _____ 02460
 City State Postal Code

What Ward do you live in?

Ward 2

 Primary Phone

 Alternate Phone

Mayer + Associates Architects _____ owner _____
 Employer Job Title

Which Boards would you like to apply for?

Newton Historical Commission: Submitted

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why are you interested in serving on a board or commission?

I have been practicing Architecture for over 30 years and have had my own firm for the past 15. I live and work in Newton and focus primarily on older historic homes which has always been my love and my passion. I have been before the commission on numerous occasions and would bring my expertise and knowledge of architecture, construction, and design to the table. I feel that it would be a great way to serve the city.

RESUME_historic.doc
 Upload a Resume

PROFESSIONAL

REGISTERED ARCHITECT - STATE OF CONNECTICUT 1991
COMMONWEALTH OF MASSACHUSETTS - 1993
N.C.A.R.B. CERTIFIED

WORK EXPERIENCE

MAYER + ASSOCIATES - ARCHITECTS WABAN, MA 2004 -PRESENT
OWNER

ELKUS-MANFREDI ARCHITECTS BOSTON, MA 1997 -2004
PROJECT ARCHITECT / PROJECT MANAGER

ROTHMAN PARTNERS BOSTON, MA 1996 - 1997
DESIGN ARCHITECT

ALAN J MAYER - ARCHITECT BROOKLINE, MA 1993 - 1996
SOLE PROPRIETOR

STECKER LABAU ARNEILL McMANUS - GLASTONBURY, CT 1990- 1993
DESIGNER, JOB CAPTAIN

KEVIN ROCHE JOHN DINKELOO NEW HAVEN, CT 1989 - 1990
DESIGN DEPARTMENT - STAFF ARCHITECT

ROBERTS ASSOCIATES - CAMBRIDGE, MA 1984 - 1987
PROJECT ARCHITECT, DESIGNER

EDUCATION

WASHINGTON UNIVERSITY GRADUATE SCHOOL OF ARCHITECTURE - ST. LOUIS, MO
M.ARCH 1989

HARVARD UNIVERSITY GRADUATE SCHOOL OF DESIGN - CAMBRIDGE, MA
ARCHITECTURE PROGRAM 1983-1984

YESHIVA UNIVERSITY - NEW YORK, NY - BA CUM LAUDE - 1983
ENGLISH LITERATURE, JEWISH HISTORY, & TALMUDIC STUDIES

PROJECTS

NEWTON MA RESIDENCES - PARTIAL LISTING

83 KIRKSTALL RD	10 REGENT ST
479 WALNUT ST	287 WALTHAM ST
6 HYDE AVE	20 PROSPECT AVE
49 FAIRFAX ST	15 FOX LANE
19 CRESCENT AVE	81 WOODLAND RD
64 HOMER ST	64 GRAY CLIFF RD
1010 CENTRE ST	61 CENTRAL ST
587 WALNUT ST	115 FRANKLIN ST
164 HIGHLAND AVE	32 LAKEWOOD AVE
76 ALBAN RD	50 COUNTRYSIDE RD
45 AMHERST RD	20 PARK PLACE
11 SCARSDALE RD	19 RANSOM RD
75 HOMER ST	587 WALNUT ST
11 FAIRVIEW ST	49 BUSWELL PARK
44 OAKMONT RD	21 LAKE AVE
398 WOODWARD ST	22 ABERDEEN ST
5 BRUCE LANE	66 BEAUMONT
9 WILLIAM ST	5 ROLLING LANE
33 RUANE RD	6 GLASTONBURY OVAL
5 PARK PLACE	61 TEMPLE ST

TOWN SQUARE, LAS VEGAS NV

DESIGN ARCHITECT

A 100 ACRE, 1.5 MILLION SF MIXED USE LIFESTYLE CENTER LOCATED ON THE LAS VEGAS STRIP.
MAYER + ASSOCIATES ARCHITECTS

33 ARCH STREET. BOSTON, MA

PROJECT ARCHITECT

A 650,000 SF OFFICE TOWER IN THE HEART OF BOSTON'S DOWNTOWN CROSSING
ELKUS- MANFREDI ARCHITECTS

DOWNTOWN DISNEY, ANAHEIM, CALIFORNIA

PROJECT ARCHITECT/ PROJECT MANAGER

A 300,000 SQUARE FOOT RETAIL DINING AND ENTERTAINMENT DISTRICT ON DISNEY PROPERTY
ADJACENT TO DISNEYLAND AND NEW THEME PARK, DISNEY'S CALIFORNIA ADVENTURE.
ELKUS-MANFREDI ARCHITECTS

1601 WASHINGTON STREET BOSTON, MASSACHUSETTS

PROJECT ARCHITECT

DESIGN OF A 140,000 SQUARE FOOT MIXED-USE DEVELOPMENT IN BOSTON'S SOUTH END
COMBINING RETAIL, HEALTH CARE, RESIDENTIAL CONDOMINIUMS AND TOWNHOUSES.
ROTHMAN PARTNERS ARCHITECTS



Ruthanne Fuller
Mayor

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Barney S. Heath
Director

MEMORANDUM

DATE: September 9, 2020

TO: Councilor Crossley, Chair of the Zoning and Planning Committee
Members of the Zoning and Planning Committee

FROM: Barney Heath, Director of Planning and Development
Jennifer Caira, Deputy Director of Planning & Development
Zachery LeMel, Chief of Long Range Planning
Cat Kemmett, Planning Associate

RE: **#88-20 Discussion and review relative to the draft Zoning Ordinance**
DIRECTOR OF PLANNING requesting review, discussion, and direction relative to the draft Zoning Ordinance

MEETING DATE: September 14, 2020

CC: City Council
Planning Board
John Lojek, Commissioner of Inspectional Services
Alissa O. Giuliani, City Solicitor
Jonathan Yeo, Chief Operating Officer

At the last ZAP meeting on August 13, the Planning Department shared the revised draft of Article 3 – Residence Districts. The Planning Department detailed some of the significant changes made, which include updates to dimensional standards & building types, garage design standards, expanding the allowance for Multi-Unit Conversion by-right, allowing two-families within new construction of certain single-family building forms, among others.

In order to build consensus and understanding of the many complex and important details within Article 3, the Planning Department has worked closely with Chair Crossley to recommend an updated fall ZAP Calendar (table below). This timeline establishes a workable timeframe for the Committee to review Article 3 and come to a general consensus by the end of 2020 before transitioning to Article 4 – Village Districts, all within the overall timeframe for a formal vote on the entire draft Zoning Ordinance by fall 2021. This updated calendar will be discussed and refined as needed at the scheduled ZAP meeting on September 14th. A memo discussing the additional topics scheduled for September 14th, dimensional standards and building components, will follow in this week’s Friday Packet.

ZAP Fall Calendar: Article 3 – Residence Districts

Date	Topic	Notes
14- Sept	A. Dimensional standards (district and building type) B. Building components C. Build out of substantive fall calendar for Article 3	
1- Oct	A. Parking requirements B. Garage design standards C. Driveway access	
15- Oct	A. Multi-unit conversion B. Other alternative lot configurations	
26- Oct	Two-family in single-family building forms	This refers to the recommendation to allow two-units within new construction of House A, House B, and House D
9- Nov	Residence districts zoning map	The ZAP Committee has stated that they plan to vote on the Residence Districts Zoning Map as part of the Article 4 – Village District discussion
23- Nov	Updated draft review	Staff plan to provide a revised draft with change log in advance of this meeting
3- Dec	Public hearing / committee discussion	
14- Dec	A. Wrap-up residence districts B. Outline next steps	The next Article to be taken up in Committee is Article 4 – Village Districts



Ruthanne Fuller
Mayor

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Barney S. Heath
Director

MEMORANDUM

DATE: September 11, 2020

TO: Councilor Deborah Crossley, Chair, Zoning & Planning Committee
Members of the Zoning & Planning Committee

FROM: Barney Heath, Director, Department of Planning and Development
Jennifer Caira, Deputy Director, Department of Planning and Development
Zachery LeMel, Chief of Long Range Planning
Cat Kemmett, Planning Associate

RE: **#88-20 Discussion and review relative to the draft Zoning Ordinance**
DIRECTOR OF PLANNING requesting review, discussion, and direction relative to the draft Zoning Ordinance.
Other docket items to be taken up within the context of Zoning Redesign include #30-20, #38-20, and #148-20

MEETING: September 14, 2020

CC: City Council
Planning Board
John Lojek, Commissioner of Inspectional Services
Neill Cronin, Chief of Current Planning
Alissa O. Giuliani, City Solicitor
Jonathan Yeo, Chief Operating Officer

At the August 13, 2020 ZAP meeting, the Planning Department introduced the revised draft of Article 3 – Residence Districts. Staff presented on the extensive amount of work taken up in Committee so far this term that led to the recommended changes in support of the City Council’s goals and objectives. This meeting set up the Committee to now evaluate the ideas within the draft and understand impacts and outcomes in order to reach consensus on key policy decisions. The fall Committee calendar for this review, shared in the ZAP memo dated September 9th, 2020, will be discussed at this meeting.

The fall Committee calendar outlines three topic areas to be discussed at the upcoming ZAP meeting:

- A. District Dimensional Standards (Sec. 3.1)
- B. Building Type Dimensional Standards (Sec. 3.2)
- C. Building Components – allowable increases (Sec. 3.3)

District Dimensional Standards (Sec. 3.1)

The proposed five residence zoning districts (R1, R2, R3, R4 and N) are the foundation for regulation across Newton's neighborhoods and roughly correspond to five of the existing residential districts (SR1, SR2, SR3, MR1 and MR2). District dimensional standards regulate the placement of structures on a lot. Utilizing data collected from the Pattern Book, these standards were derived from Newton's existing scale and proportions. Setting the standards in this way helps ensure any future development or redevelopment relates to Newton's existing character.

In addition, the recommended standards help to facilitate desirable development patterns for Newton's future based on the City Council's other goals and objectives. This can be understood when all the district standards are viewed together as a transect that moves from larger lots/less lot coverage/larger setbacks (R1, R2, and R3) to smaller lots/more lot coverage/smaller setbacks (R4 and N). This typically corresponds with Newton's existing residential development patterns, but not always.

The standards to be reviewed at this ZAP meeting include Lot Frontage (see Table 1), Lot Coverage (see Table 2), Front Setback (see Table 3), Side Setback (see Table 4), and Rear Setback (see Table 5). What these tables reveal is that current ordinance standards (old lot or new lot) often have very little relationship to what exists on the ground. Therefore, it is not surprising that new development is regularly criticized as out of scale and proportion to the surrounding neighborhood. As mentioned above the proposed recommendation for each standard, within the August 2020 draft, attempts to strike the right balance between adhering to existing scale and proportion and allowing for an increase in diverse housing opportunities that are more economically and environmentally sustainable.

At this meeting, staff hope that the Committee members can discuss, and come to a consensus, on what priorities should inform each of these standards since these standards will determine the outcome, and overall impact, of any future residential development or redevelopment. Setting these priorities will inform staff that either the standards within the draft are correct or require minor adjustments.

Building Type Dimensional Standards (Sec. 3.2)

The proposed Zoning Ordinance uses Building Types as a tool to regulate the scale and proportion of development within each zoning district by setting standards for the mass and volume of a building (footprint, # of stories, story height). The Building Type dimensional standards, like the district dimensional standards described above, derive from Newton's existing building stock (House A through Duplex) or design best practices (Triplex through Small Multi-Use Building). So, setting the appropriate dimensional standards is critical for not only ensuring new development relates to Newton's existing building stock, but also facilitates additional building forms, suitably located, to achieve the City Council's goals. If set and mapped correctly, then staff recommend allowing these Building Types by-right to achieve another stated objective, to simplify and streamline the permitting and review process.

In this way, Building Types allow the City to directly regulate one of the top desires heard throughout the Zoning Redesign process, that the proposed Zoning Ordinance better regulate building size and placement on the lot. The current Zoning Ordinance applies generic dimensional standards to all buildings through FAR. The recommended Building Types in the proposed draft allow for multiple dimensional standards that differ from one Building Type to another within the same Residence District. This allows those making alterations to existing structures to better respond to the variety of buildings found throughout Newton and ensures any new construction appropriately aligns in scale and proportion to buildings nearby.

The main standard to be reviewed at this ZAP meeting for Building Types is footprint (see Table 6). This table shows that the standards for the maximum proposed footprint for each Building Type is set roughly at the median of Newton's existing buildings. This standard helps ensure that new structures comfortably fit into the established neighborhood patterns, while also not allowing the uppermost limits that exist in the city today.

The limitations set in the Building Type standards break the link between building size and lot size, replacing it with design focused standards derived from the existing built fabric in Newton. Breaking this link helps ensure buildings within a district are of a similar scale, regardless of lot sizes or configurations, while still maintaining controls on the overall size and ensuring proper distance between buildings through the district standards. Building Types do not regulate style, only volume, which can better respond to the diversity of housing forms in the city. Finally, allowing for a range of housing types and densities can facilitate an increase in availability in the marketplace for various income levels and household sizes.

It should be noted that the draft ordinance does not institute a required minimum lot size. Rather, using the Building Type and district dimensional standards we have calculated the minimum lot size required to build the maximum Building Type (see Table 7). This means that the minimum lot size required to build each building type is not a "one size fits all" number, but rather depends on which district the structure lies in. For example, a House C built to the maximum footprint in a the R1 district requires a minimum lot size of 7,600 square feet, in order to meet the district setback and lot coverage standards. But a House C in the N district requires a lot size of only 2,520 square feet. This system allows for a variety of housing forms to be permitted in each district, while also fostering the transect pattern of growth that moves from larger lots and less lot coverage in areas further from village centers to areas with an established pattern of smaller lots with more lot coverage.

Eliminating minimum lot sizes can encourage smaller homes to be built on these smaller lots, which can help achieve the City's goal of creating housing options at different sizes and price points. As an example, these smaller homes may appeal to Newton's aging population looking to downsize and remain in Newton, young families looking for a starter home, or individuals living alone, which is increasingly common in the United States.

At this meeting, staff hope that the Committee members can discuss, how setting the Building Type standards around the median facilitates the desired outcomes laid out by the City Council. Staff have understood these outcomes to include ensuring new development fits within scale and proportion of its surroundings and limiting building size to promote environmental sustainability and economic diversity.

Building Components – allowable increases (Sec. 3.3)

Like Building Types, Building Components allow for a greater ease of use and level of controlled flexibility when it comes to new development and redevelopment of existing residences. Through the Building Components standards, common home improvements such as dormers, bay windows, rear additions, porches, and other alterations to the main structure would be allowed by-right. It should be noted that to take advantage of any Building Component by-right, the proposal must meet all the specific standards of that component and all district dimensional requirements.

Using the same data of existing Building Type footprints, staff have recommended limited increases to the overall footprint through Building Components (see Table 8). This table shows that through Building Components, structures can increase their size through this bonus while remaining in scale and

proportion with existing neighborhood conditions. For House A through Duplex the proposed draft allows for maximum increase of 25%. In this way, Building Components allow for modest increases in size that fit with what we see in the city today except for the uppermost limits of very large homes in each Building Type.

Using the tables provided in this memo, staff hope that the Committee members can discuss, and come to a consensus, on the allowable increase by Building Components. The discussion will be predicated on the Building Type standards since the allowable increase is based on these numbers.

Looking Ahead

At the upcoming ZAP meeting, scheduled for October 1st, staff hope to facilitate a discussion on the proposed Parking Requirements (Sec. 3.7), Garage Design Standards (Sec. 3.4), and Driveway Access (Sec. 3.7.1.E). In addition to Councilor questions and comments, staff will seek guidance on questions within in the Decision Tree memo, dated August 11, 2020.

Attachments

Attachment A Zoning Diagrams for

Table 1: Lot Frontage (Existing Conditions, Current Standards, and Proposed Standards)

Proposed Districts	The Real World Deciles <i>We'd have X% conforming if the minimum was set at ___</i>	Current Ordinance <i>Lot Frontage min</i>	Proposal (August 2020) <i>Lot Frontage min & max</i>
R1	10% conforming - 164 ft 20% conforming - 140 ft 30% conforming - 126 ft 40% conforming - 116 ft 50% conforming - 108 ft 60% conforming - 101 ft 70% conforming - 98 ft 80% conforming - 89 ft 90% conforming - 76 ft	SR1 old = 100 ft SR1 new = 140 ft	80 ft min frontage
R2	10% conforming - 110 ft 20% conforming - 99 ft 30% conforming - 90 ft 40% conforming - 83 ft 50% conforming - 79 ft 60% conforming - 74 ft 70% conforming - 70 ft 80% conforming - 62 ft 90% conforming - 53 ft	SR2 old = 80 ft SR2 new = 100 ft SR3 old = 70 ft SR3 new = 80 ft	60 ft min frontage 110 ft max frontage
R3	10% conforming - 102 ft 20% conforming - 89 ft 30% conforming - 80 ft 40% conforming - 73 ft 50% conforming - 67 ft 60% conforming - 61 ft 70% conforming - 56 ft 80% conforming - 50 ft 90% conforming - 45 ft	MR1 old = 70 ft MR1 new = 80 ft MR2 old = 70 ft MR2 new = 80 ft	50 ft min frontage 100 ft max frontage
R4	10% conforming - 102 ft 20% conforming - 88 ft 30% conforming - 77 ft 40% conforming - 69 ft 50% conforming - 63 ft 60% conforming - 59 ft 70% conforming - 54 ft 80% conforming - 48 ft 90% conforming - 36 ft	MR1 old = 70 ft MR1 new = 80 ft MR2 old = 70 ft MR2 new = 80 ft	50 ft min frontage 100 ft max frontage
N	10% conforming - 165 ft 20% conforming - 124 ft 30% conforming - 100 ft 40% conforming - 88 ft 50% conforming - 77 ft 60% conforming - 68 ft 70% conforming - 61 ft 80% conforming - 51 ft 90% conforming - 36 ft	MR2 old = 70 ft MR2 new = 80 ft BU2 = no min.	40 ft min frontage 100 ft max frontage

Table 2: Lot Coverage (Existing Conditions, Current Standards, and Proposed Standards)

Proposed Districts	The Real World Deciles <i>We'd have X% conforming if the maximum was set at ___ (percentile includes all impervious surface on a lot)</i>	Current Ordinance Rules <i>Lot Coverage max (closest translation in current ordinance is the inverse of "useable open space")</i>	Proposal (August 2020) <i>Lot Coverage max (recommendation is to include all structures and paved areas for driveways and parking)</i>
R1	10% conforming - 8% 20% conforming - 12% 30% conforming - 15% 40% conforming - 18% 50% conforming - 21% 60% conforming - 24% 70% conforming - 27% 80% conforming - 32% 90% conforming - 39%	SR1 old = 35% SR1 new = 30% <i>*Inverse % of useable open space</i>	25% max. lot coverage
R2	10% conforming - 12% 20% conforming - 17% 30% conforming - 21% 40% conforming - 24% 50% conforming - 27% 60% conforming - 31% 70% conforming - 35% 80% conforming - 41% 90% conforming - 49%	SR2 old = 50% SR2 new = 35% SR3 old = 50% SR3 new = 50% <i>*Inverse % of useable open space</i>	30% max. lot coverage
R3	10% conforming - 18% 20% conforming - 25% 30% conforming - 31% 40% conforming - 36% 50% conforming - 41% 60% conforming - 47% 70% conforming - 53% 80% conforming - 61% 90% conforming - 72%	MR1 old = 50% MR1 new = 50% MR2 old = 50% MR2 new = 50% <i>*Inverse % of useable open space</i>	50% max. lot coverage
R4	10% conforming - 23% 20% conforming - 30% 30% conforming - 35% 40% conforming - 41% 50% conforming - 47% 60% conforming - 52% 70% conforming - 58% 80% conforming - 67% 90% conforming - 78%	MR1 old = 50% MR1 new = 50% MR2 old = 50% MR2 new = 50% <i>*Inverse % of useable open space</i>	60% max. lot coverage
N	10% conforming - 27% 20% conforming - 40% 30% conforming - 52% 40% conforming - 60% 50% conforming - 68% 60% conforming - 76% 70% conforming - 84% 80% conforming - 91% 90% conforming - 98%	MR2 old = 50% MR2 new = 50% BU2 = no max. <i>*Inverse % of useable open space</i>	70% lot coverage

Table 3: Front Setback (Existing Conditions, Current Standards, and Proposed Standards)

Proposed Districts	The Real World Deciles <i>We'd have X% conforming if the minimum was set at ___</i>	Current Ordinance Front Setback min	Proposal (August 2020) <i>Front Setback min & max</i>
R1	10% conforming - 65 ft 20% conforming - 50 ft 30% conforming - 43 ft 40% conforming - 40 ft 50% conforming - 36 ft 60% conforming - 33 ft 70% conforming - 30 ft 80% conforming - 28 ft 90% conforming - 23 ft	SR1 old = 25 ft SR1 new = 40 ft	25 ft min front setback
R2	10% conforming - 40 ft 20% conforming - 34 ft 30% conforming - 31 ft 40% conforming - 29 ft 50% conforming - 27 ft 60% conforming - 26 ft 70% conforming - 24 ft 80% conforming - 21 ft 90% conforming - 15 ft	SR2 old = 25 ft SR2 new = 30 ft SR3 old = 25 ft SR3 new = 30 ft	20 ft min front setback 40 ft max front setback
R3	10% conforming - 38 ft 20% conforming - 31 ft 30% conforming - 28 ft 40% conforming - 25 ft 50% conforming - 22 ft 60% conforming - 19 ft 70% conforming - 16 ft 80% conforming - 13 ft 90% conforming - 8 ft	MR1 old = 30 ft MR1 new = 25 ft MR2 old = 25 ft MR2 new = 25 ft	10 ft min. front setback 35 ft max front setback
R4	10% conforming - 34 ft 20% conforming - 29 ft 30% conforming - 24 ft 40% conforming - 22 ft 50% conforming - 18 ft 60% conforming - 16 ft 70% conforming - 13 ft 80% conforming - 9 ft 90% conforming - 5 ft	MR1 old = 30 ft MR1 new = 25 ft MR2 old = 25 ft MR2 new = 25 ft	5 ft min front setback 35 ft max front setback
N	10% conforming - 40 ft 20% conforming - 29 ft 30% conforming - 23 ft 40% conforming - 19 ft 50% conforming - 15 ft 60% conforming - 12 ft 70% conforming - 8 ft 80% conforming - 3 ft 90% conforming - 0 ft	MR2 old = 25 ft MR2 new = 25 ft BU2 = Lesser of ½ bldg. height or average neighboring lots	0 ft min front setback 25 ft max front setback

Table 4: Side Setback (Existing Conditions, Current Standards, and Proposed Standards)

Proposed Districts	The Real World Deciles <i>We'd have X% conforming if the minimum was set at ___</i>	Current Ordinance Rules <i>Side Setback min</i>	Proposal (August 2020) <i>Side Setback min & max</i>
R1	10% conforming - 33 ft 20% conforming - 24 ft 30% conforming - 20 ft 40% conforming - 17 ft 50% conforming - 15 ft 60% conforming - 13 ft 70% conforming - 11 ft 80% conforming - 8 ft 90% conforming - 5 ft	SR1 old = 12.5 ft SR1 new = 20 ft	20 ft min side setback
R2	10% conforming - 19 ft 20% conforming - 15 ft 30% conforming - 12 ft 40% conforming - 11 ft 50% conforming - 9 ft 60% conforming - 8 ft 70% conforming - 7 ft 80% conforming - 6 ft 90% conforming - 4 ft	SR2 old = 7.5 ft SR2 new = 15 ft SR3 old = 7.5 ft SR3 new = 10 ft	12.5 ft min side setback
R3	10% conforming - 18 ft 20% conforming - 13 ft 30% conforming - 11 ft 40% conforming - 9 ft 50% conforming - 8 ft 60% conforming - 7 ft 70% conforming - 5 ft 80% conforming - 4 ft 90% conforming - 1 ft	MR1 old = 7.5 MR1 new = 10 ft MR2 old = 7.5 MR2 new = 10 ft	10 ft min side setback
R4	10% conforming - 17 ft 20% conforming - 13 ft 30% conforming - 11 ft 40% conforming - 9 ft 50% conforming - 8 ft 60% conforming - 6 ft 70% conforming - 4 ft 80% conforming - 3 ft 90% conforming - 0 ft	MR1 old = 7.5 MR1 new = 10 ft MR2 old = 7.5 MR2 new = 10 ft	10 ft mi. side setback
N	10% conforming - 23 ft 20% conforming - 15 ft 30% conforming - 11 ft 40% conforming - 8 ft 50% conforming - 6 ft 60% conforming - 4 ft 70% conforming - 2 ft 80% conforming - 0 ft 90% conforming - 0 ft	MR2 old = 7.5 ft MR2 new = 10 ft BU2 = ½ bldg. height or equal to abutting side yard setback; if abutting residential, greater of ½ bldg. height or 15 ft	7.5 ft min side setback

Table 5: Rear Setback (Existing Conditions, Current Standards, and Proposed Standards)

Proposed Districts	The Real World Deciles <i>We'd have X% conforming if the minimum was set at ___</i>	Current Ordinance Rules Rear Setback min	Proposal (August 2020) <i>Rear Setback min</i>
R1	10% conforming - 94 ft 20% conforming - 75 ft 30% conforming - 63 ft 40% conforming - 53 ft 50% conforming - 44 ft 60% conforming - 34 ft 70% conforming - 24 ft 80% conforming - 6 ft 90% conforming - 0 ft	SR1 old = 25 ft SR1 new = 25 ft	40 ft min. rear setback
R2	10% conforming - 74 ft 20% conforming - 57 ft 30% conforming - 47 ft 40% conforming - 40 ft 50% conforming - 34 ft 60% conforming - 28 ft 70% conforming - 20 ft 80% conforming - 10 ft 90% conforming - 0 ft	R2 old = 15 ft SR2 new = 15 ft SR3 old = 15 ft SR3 new = 15 ft	30 ft min. rear setback
R3	10% conforming - 68 ft 20% conforming - 50 ft 30% conforming - 40 ft 40% conforming - 33 ft 50% conforming - 26 ft 60% conforming - 19 ft 70% conforming - 12 ft 80% conforming - 4 ft 90% conforming - 0 ft	MR1 old = 15 ft MR1 new = 15 ft MR2 old = 15 ft MR2 new = 15 ft	20 ft min. rear setback
R4	10% conforming - 65 ft 20% conforming - 49 ft 30% conforming - 39 ft 40% conforming - 31 ft 50% conforming - 25 ft 60% conforming - 19 ft 70% conforming - 12 ft 80% conforming - 5 ft 90% conforming - 0 ft	MR1 old = 15 ft MR1 new = 15 ft MR2 old = 15 ft MR2 new = 15 ft	20 ft min. rear setback
N	10% conforming - 75 ft 20% conforming - 54 ft 30% conforming - 42 ft 40% conforming - 33 ft 50% conforming - 23 ft 60% conforming - 17 ft 70% conforming - 11 ft 80% conforming - 4 ft 90% conforming - 0 ft	MR2 old = 15 ft MR2 new = 15 ft BU2 = 0 ft or abutting residential/ public use district (greater of ½ bldg. height or 15')	15 ft min. rear setback

Table 6: Building Type Footprint (Existing Conditions and Proposed Standards)

Proposed Building Types	The Real World Deciles <i>We'd have X% conforming if the maximum was set at __</i>	Existing Median Footprint <i>Lot Coverage max (closest translation to current ordinance is the inverse of "useable open space")</i>	Proposal (August 2020) <i>Footprint includes attached enclosed spaces for habitation or storage</i>
House A	10% conforming – 1,822 sf 20% conforming – 2,026 sf 30% conforming – 2,212 sf 40% conforming – 2,300 sf 50% conforming – 2,407 sf 60% conforming – 2,543 sf 70% conforming – 2,713 sf 80% conforming – 3,005 sf 90% conforming – 3,476 sf	2,407 sf	2,400 sf
House B	10% conforming – 954 sf 20% conforming – 1,085 sf 30% conforming – 1,184 sf 40% conforming – 1,277 sf 50% conforming – 1,371 sf 60% conforming – 1,469 sf 70% conforming – 1,579 sf 80% conforming – 1,725 sf 90% conforming – 1,914 sf	1,371 sf	1,400 sf
House C	10% conforming – 962 sf 20% conforming – 1,100 sf 30% conforming – 1,209 sf 40% conforming – 1,287 sf 50% conforming – 1,351 sf 60% conforming – 1,452 sf 70% conforming – 1,534 sf 80% conforming – 1,620 sf 90% conforming – 1,707 sf	1,351 sf	1,200 sf
House D	10% conforming – 1,876 sf 20% conforming – 1,975 sf 30% conforming – 2,086 sf 40% conforming – 2,201 sf 50% conforming – 2,317 sf 60% conforming – 2,458 sf 70% conforming – 2,639 sf 80% conforming – 2,825 sf 90% conforming – 3,143 sf	2,314 sf	2,300 sf
Duplex	10% conforming – 1,215 sf 20% conforming – 1,379 sf 30% conforming – 1,492 sf 40% conforming – 1,580 sf 50% conforming – 1,671 sf 60% conforming – 1,763 sf 70% conforming – 1,873 sf 80% conforming – 2,028 sf 90% conforming – 2,286 sf	1,671 sf	1,800 sf

Table 7: Minimum Lot Size (Existing Conditions, Current Standards, and Min Lot for Max Building Type)

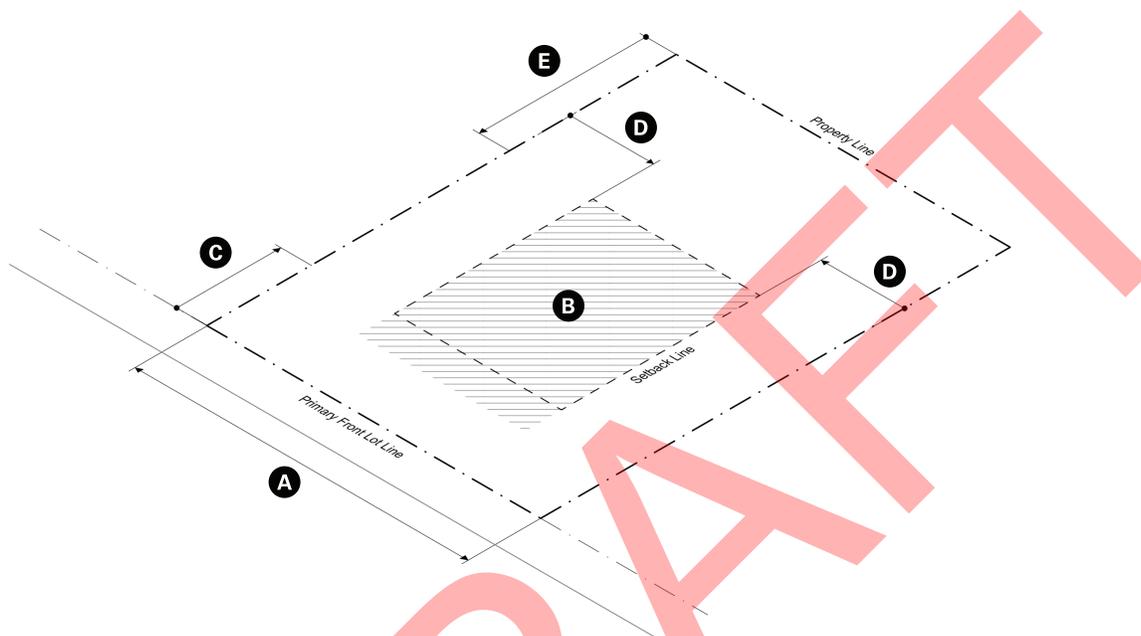
Proposed Districts	The Real World Deciles <i>We'd have X% conforming if the maximum was set at __</i>	Current Ordinance Rules <i>Lot Size min</i>	Proposed Adjustments <i>Max Building Type – Min Lot Size</i>
R1	10% conforming - 32,241 sf 20% conforming - 24,989 sf 30% conforming - 20,435 sf 40% conforming - 17,384 sf 50% conforming - 15,763 sf 60% conforming - 14,935 sf 70% conforming - 13,276 sf 80% conforming - 11,751 sf 90% conforming - 10,021 sf	SR1 old: 15,000 sf SR1 new: 25,000 sf	House A – 10,000 sf House B – 8,000 sf House C – 7,600 sf House D – 9,800 sf
R2	10% conforming - 15,030 sf 20% conforming - 12,277 sf 30% conforming - 10,842 sf 40% conforming - 10,013 sf 50% conforming - 9,086 sf 60% conforming - 8,157 sf 70% conforming - 7,448 sf 80% conforming - 6,760 sf 90% conforming - 5,562 sf	SR2 old: 10,000 sf SR2 new: 15,000 sf SR3 old: 7,000 sf SR3 new: 10,000 sf	House B – 5,400 sf House C – 5,040 sf
R3	10% conforming - 13,640 sf 20% conforming - 10,701 sf 30% conforming - 9,331 sf 40% conforming - 8,147 sf 50% conforming - 7,260 sf 60% conforming - 6,551 sf 70% conforming - 5,777 sf 80% conforming - 5,022 sf 90% conforming - 3,978 sf	MR1 old: 7,000 sf MR1 new: 10,000sf MR2 old: 7,000 sf MR2 new: 10,000sf	House B – 3,833 sf House C – 3,500 sf Duplex – 4,500 sf
R4	10% conforming - 13,095 sf 20% conforming - 10,328 sf 30% conforming - 9,131 sf 40% conforming – 7,800 sf 50% conforming – 6,840 sf 60% conforming - 6,018 sf 70% conforming – 5,456 sf 80% conforming – 4,516 sf 90% conforming - 3,130 sf	MR1 old: 7,000 sf MR1 new: 10,000sf MR2 old: 7,000 sf MR2 new: 10,000sf	House B – 3,583 sf House C – 3,250 sf Duplex – 4,250 sf Triplex – 4,250 sf
N	10% conforming - 30,690 sf 20% conforming - 17,105 sf 30% conforming - 12,672 sf 40% conforming - 10,083 sf 50% conforming - 8,514 sf 60% conforming - 7,229 sf 70% conforming - 6,351 sf 80% conforming - 4,913 sf 90% conforming - 3,624 sf	MR3 old:7,000 sf MR3 new: 10,000sf BU2: 10,000 sf	House B – 2,840 sf House C – 2,520 sf Duplex – 3,480 sf Triplex – 3,480 sf Townhouse Section* - 4,875 sf Multiplex – 5,675 sf *Calculated for two Townhouse Sections

Table 8: Building Components - % Bonus (Existing Conditions, % Allowance, Proposed Max Footprint)

Proposed Building Types	The Real World Deciles <i>Existing building footprints (inclusive of building components)</i>	% Allowed increase in Footprint <i>Increase allowed beyond max building footprint (must comply with district dimensional standards)</i>	Proposal (August 2020) <i>Max building footprint + max building component allowance</i>
House A	10% conforming – 1,822 sf 20% conforming – 2,026 sf 30% conforming – 2,212 sf 40% conforming – 2,300 sf 50% conforming – 2,407 sf 60% conforming – 2,543 sf 70% conforming – 2,713 sf 80% conforming – 3,005 sf 90% conforming – 3,476 sf	600 sf <i>25% increase</i>	3,000 sf <i>~80th percentile</i>
House B	10% conforming – 954 sf 20% conforming – 1,085 sf 30% conforming – 1,184 sf 40% conforming – 1,277 sf 50% conforming – 1,371 sf 60% conforming – 1,469 sf 70% conforming – 1,579 sf 80% conforming – 1,725 sf 90% conforming – 1,914 sf	350 sf <i>25% increase</i>	1,750 sf <i>~80th percentile</i>
House C	10% conforming – 962 sf 20% conforming – 1,100 sf 30% conforming – 1,209 sf 40% conforming – 1,287 sf 50% conforming – 1,351 sf 60% conforming – 1,452 sf 70% conforming – 1,534 sf 80% conforming – 1,620 sf 90% conforming – 1,707 sf	300 sf <i>25% increase</i>	1,500 sf <i>~70th percentile</i>
House D	10% conforming – 1,876 sf 20% conforming – 1,975 sf 30% conforming – 2,086 sf 40% conforming – 2,201 sf 50% conforming – 2,317 sf 60% conforming – 2,458 sf 70% conforming – 2,639 sf 80% conforming – 2,825 sf 90% conforming – 3,143 sf	575 sf <i>25% increase</i>	2,875 sf <i>~80th percentile</i>
Duplex	10% conforming – 1,215 sf 20% conforming – 1,379 sf 30% conforming – 1,492 sf 40% conforming – 1,580 sf 50% conforming – 1,671 sf 60% conforming – 1,763 sf 70% conforming – 1,873 sf 80% conforming – 2,028 sf 90% conforming – 2,286 sf	450 sf <i>25% increase</i>	2,250 sf <i>~90th percentile</i>

3.1.2. Residence 1 District (R1)

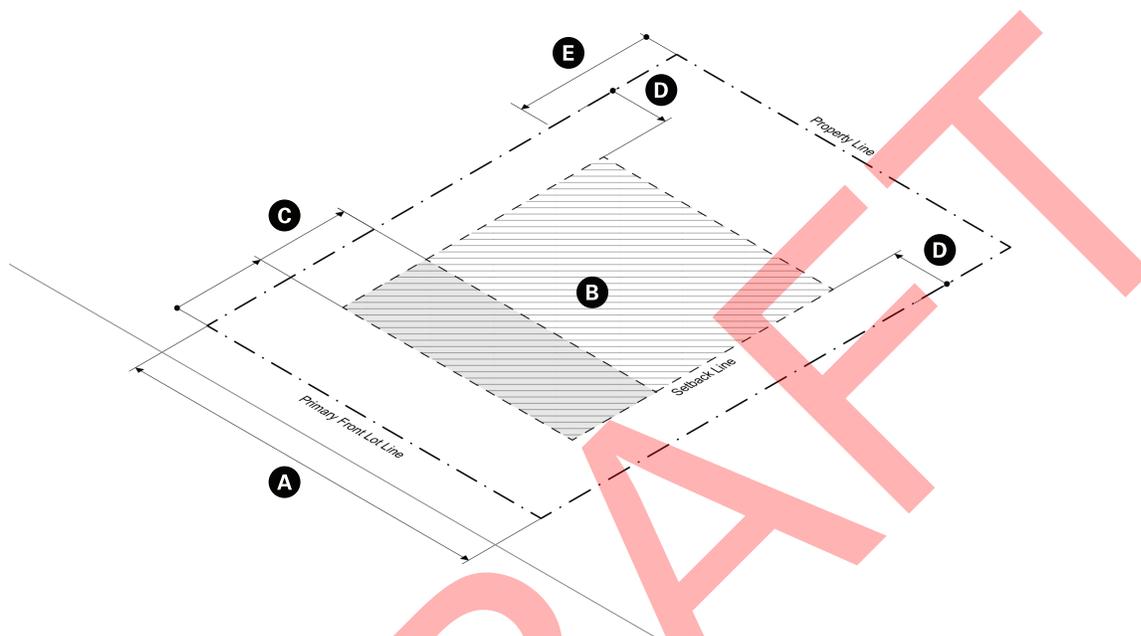
The Residence 1 District is composed of neighborhoods characterized typically by larger homes on larger parcels of land. These neighborhoods consist almost entirely of single-unit residences with significant areas of landscaping and trees. Where other uses exist or may be proposed, the City would like to preserve the existing building stock by allowing for existing buildings to be renovated or converted to multiple dwelling units or to a civic institution.



Lot Characteristics	min	max
A Frontage	80 ft	--
B Lot Coverage	--	25% 35% by special permit
Setbacks	min	max
C Front	25 ft	--
D Side	20 ft	--
E Rear	40 ft	--

3.1.3. Residence 2 District (R2)

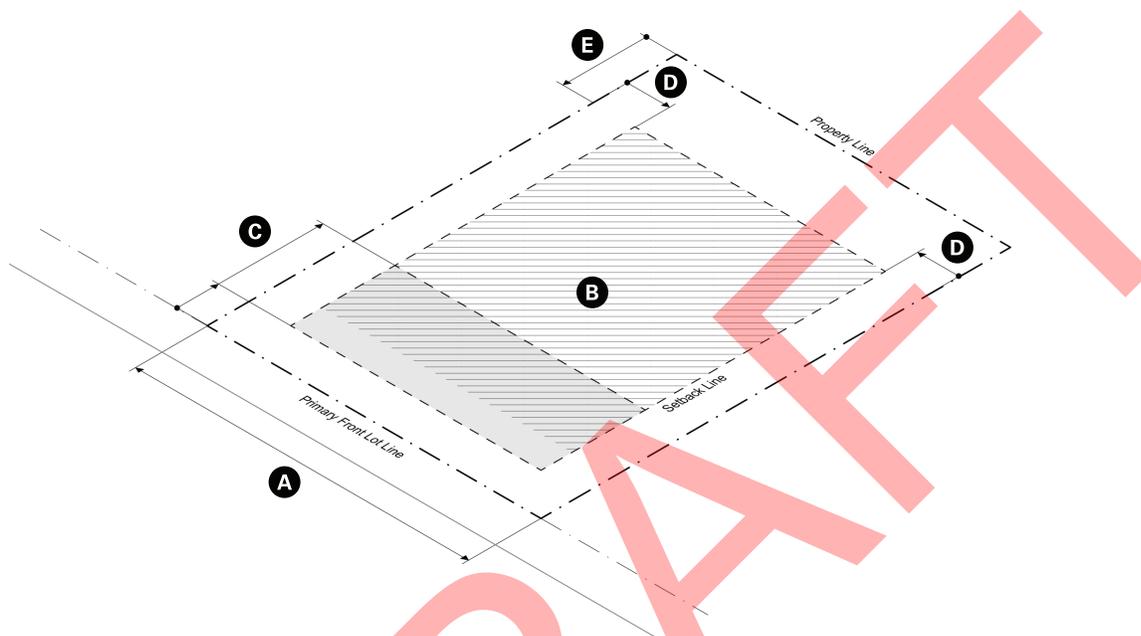
The Residence 2 District contains quintessentially suburban neighborhoods with ample lawns and mostly single-unit residences, developed primarily in the 20th Century in areas between Newton’s villages. Many of these neighborhoods are remote from the walkable village centers of the City and therefore do not have nearby gathering places, shops, or services.



Lot Characteristics	min	max
A Frontage	60 ft	110 ft
B Lot Coverage	--	30% 40% by special permit
Setbacks	min	max
C Front	20 ft	40 ft
D Side	12.5 ft	--
E Rear	30 ft	--

3.1.4. Residence 3 District (R3)

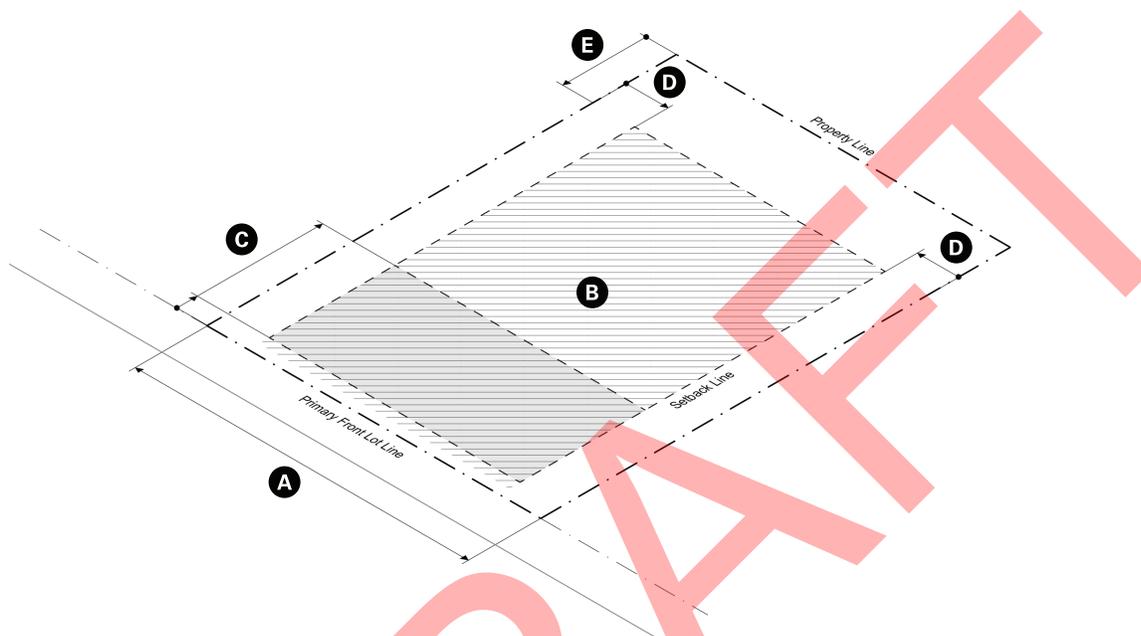
The Residence 3 District includes neighborhoods composed of single, two, and three-unit homes, frequently within walking distance to transit and activity centers. The intent of this district is to increase predictability for homeowners in how they may modify their homes and integrate appropriately scaled new homes into the fabric of the neighborhoods that make up this district.



Lot Characteristics	min	max
A Frontage	50 ft	100 ft
B Lot Coverage	--	50% 60% by special permit
Setbacks	min	max
C Front	10 ft	35 ft
D Side	10 ft	--
E Rear	20 ft	--

3.1.5. Residence 4 District (R4)

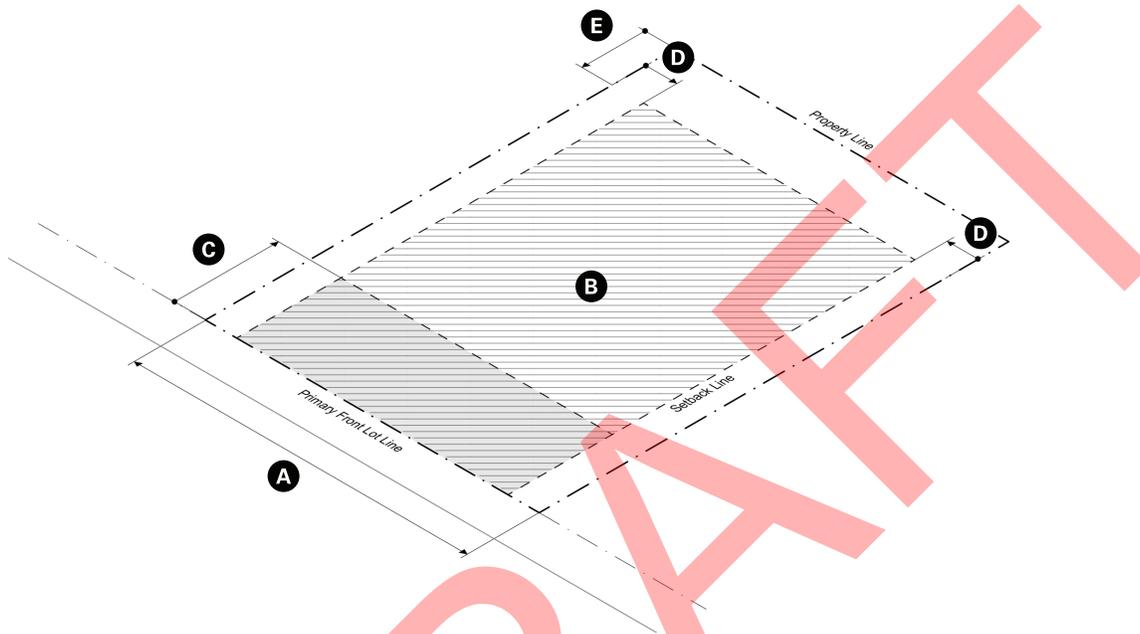
The Residence 4 District includes neighborhoods composed mostly of multi-unit buildings, with single-unit residences as well, frequently within walking distance to transit and activity centers.



Lot Characteristics	min	max
A Frontage	50 ft	100 ft
B Lot Coverage	--	60% 70% by special permit
Setbacks	min	max
C Front	5 ft	35 ft
D Side	10 ft	--
E Rear	20 ft	--

3.1.6. Neighborhood General District (N)

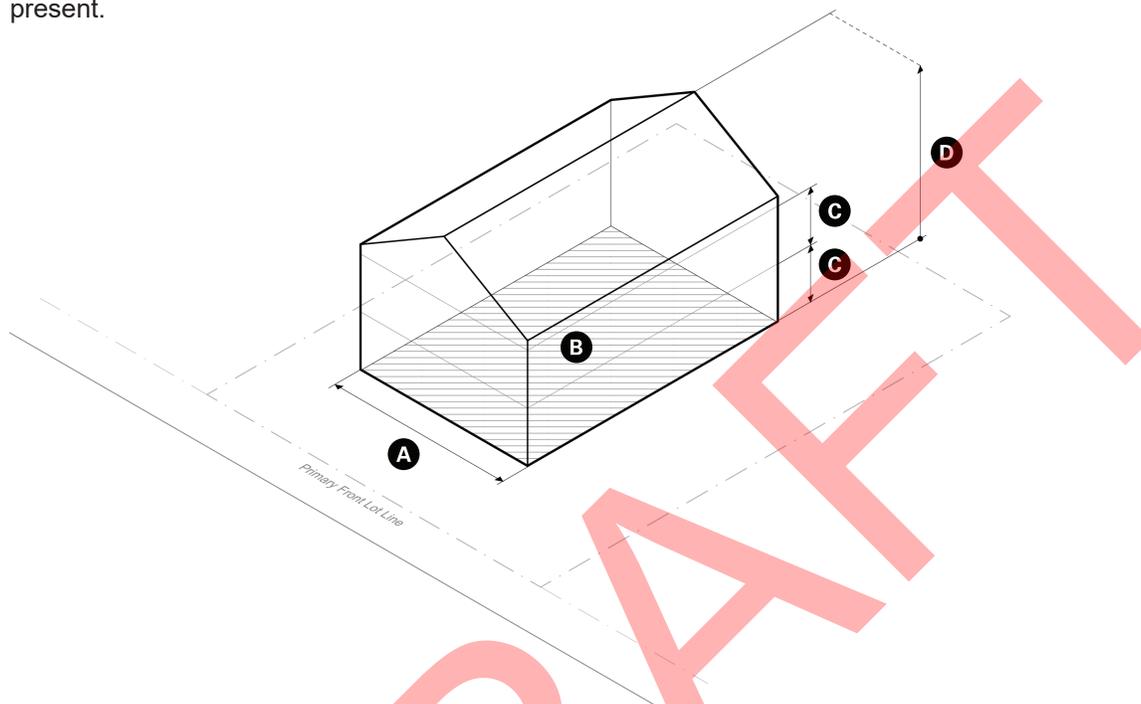
Within a short walk of the amenities, mixture of uses, and transit options found in Newton's village centers, the Neighborhood General District serves as a transition from the village centers to the adjoining neighborhoods. With easy access to the above amenities, these areas are appropriate for a wider range of housing types, including small multi-unit residential buildings and townhouses, as well as a range of small-scale neighborhood-serving commercial spaces.



Lot Characteristics	min	max
A Frontage	40 ft	100 ft
B Lot Coverage	--	70% 80% by special permit
Setbacks	min	max
C Front	0 ft	25 ft
D Side	7.5 ft	--
E Rear	15 ft	--

3.2.4. House A

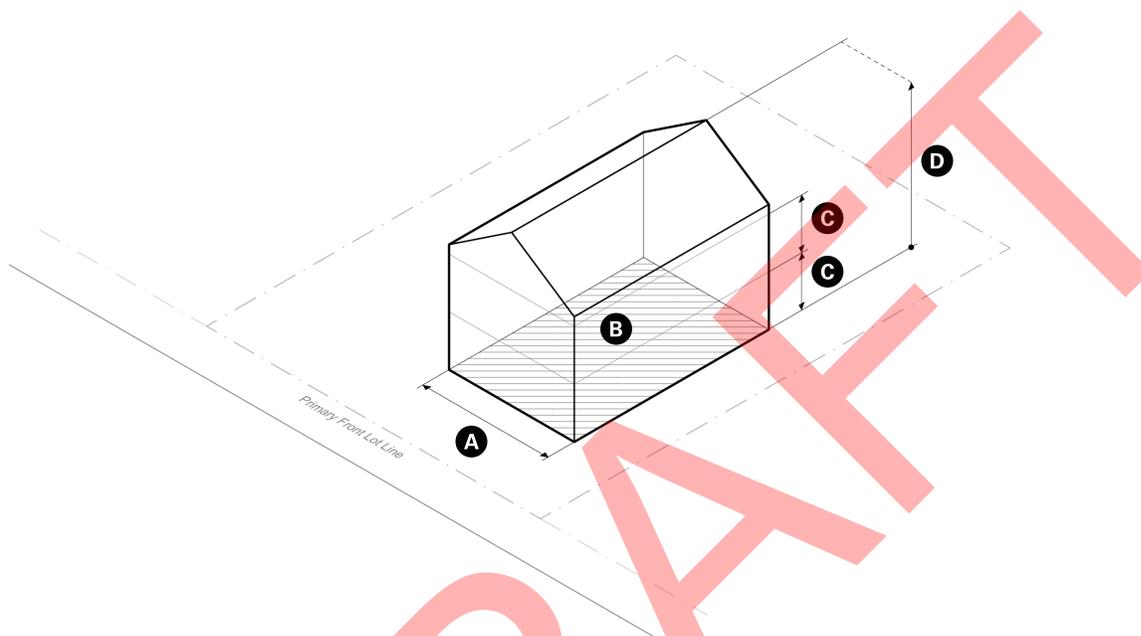
A house with a large footprint and up to 2.5 stories. House A building types are common in several Newton neighborhoods like Chestnut Hill, Waban, and West Newton Hill. House A types may have been built in several eras of Newton’s development history from the era when Newton was a destination for country estates to the modern development period of the 1980s to the present.



Building Dimensions	min	max
A Front Elevation Width R1	none	--
B Building Footprint	--	2,400 sf
C Story Heights	--	12 ft
D Number of Stories	--	2.5 stories

3.2.5. House B

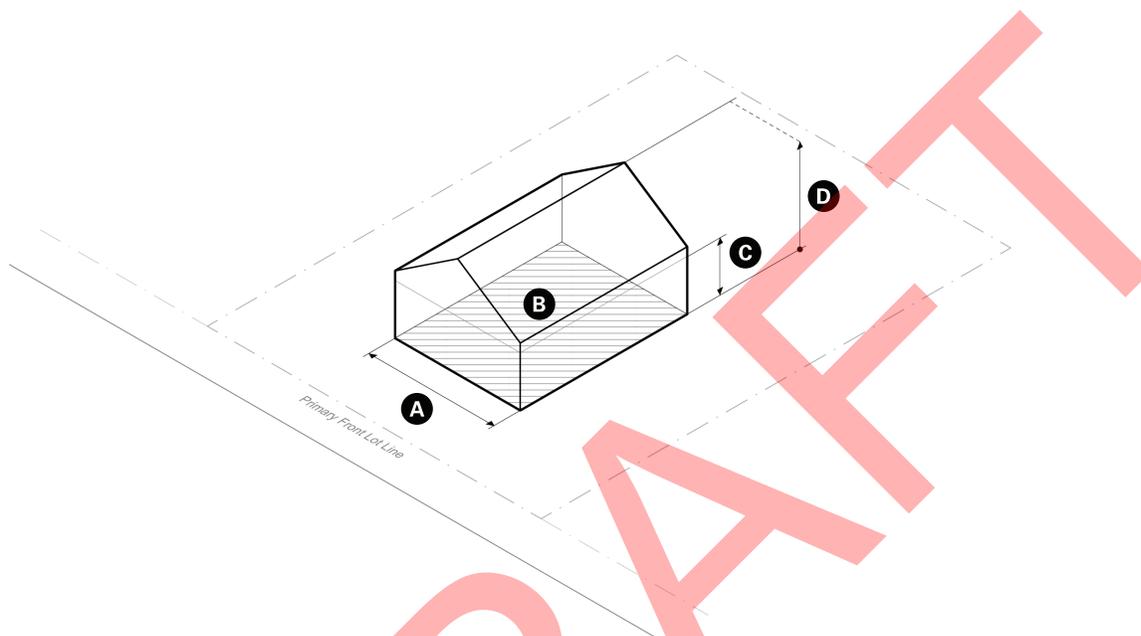
A house with a medium footprint and up to 2.5 stories. House B building types can be found throughout Newton. The House B type includes typical midscale Victorian homes close to village centers, and midscale Colonial homes frequently built in the era of suburban infill between Newton’s historic village centers.



Building Dimensions		min	max
A Front Elevation Width	R1	none	--
	R2	12 ft or 25% of the lot width, whichever is greater	--
	R3		
	R4		
N	12 ft or 40% of the lot width, whichever is greater	--	
B Building Footprint	--	1,400 sf	
C Story Heights	--	12 ft	
D Number of Stories	--	2.5 stories	

3.2.6. House C

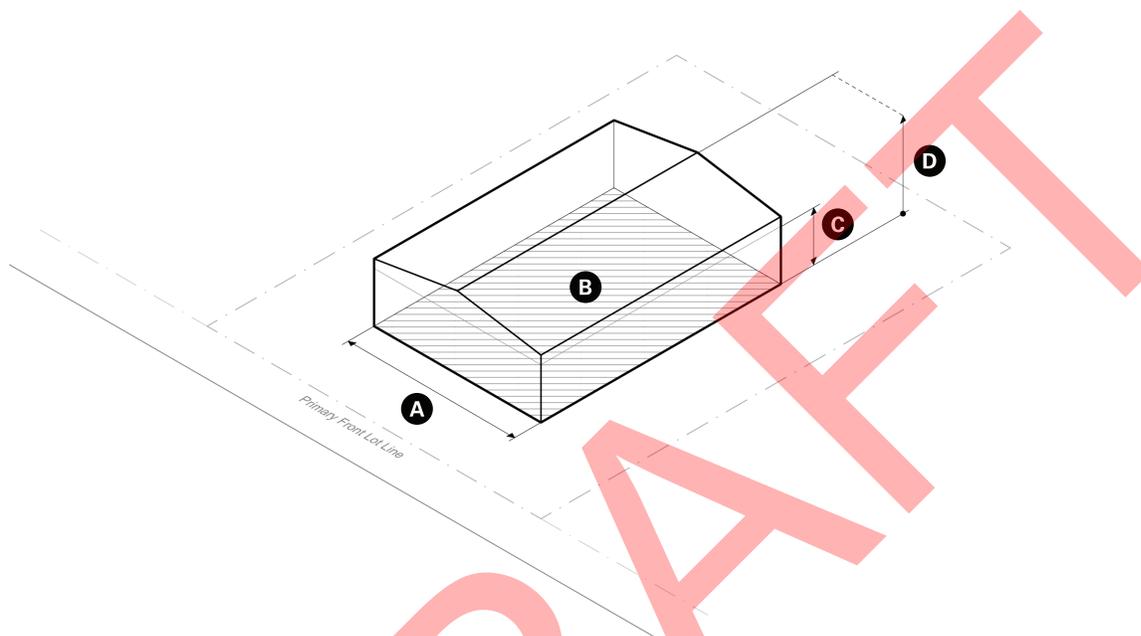
A house with a small footprint and up to 1.5 stories. House C building types are located across Newton and are most typified by the bungalow or cape house style. House C building types are most likely to have been built between the 1920s when the bungalow style gained popularity through the post-war construction boom of the 1950s.



Building Dimensions	min	max
A Front Elevation Width		
R1	none	--
R2	12 ft or 25% of the lot width, whichever is greater	--
R3		
R4		
N	12 ft or 40% of the lot width, whichever is greater	--
B Building Footprint	--	1,200 sf
C Story Height	--	12 ft
D Number of Stories	--	1.5 stories

3.2.7. House D

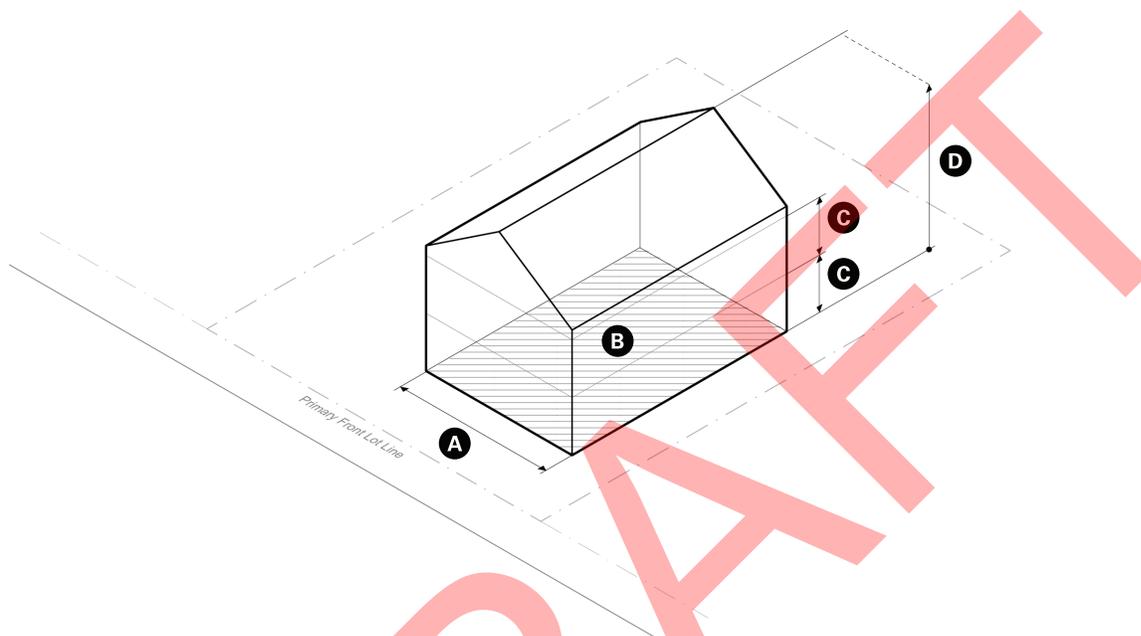
A house with a large footprint and no more than 1 story. House D building types are best known as Ranch houses – and are characterized by 1-floor living with or without a basement. The House D building type is most common in southern Newton and is typical of mid-20th century development.



Building Dimensions	min	max
A Front Elevation Width R1	none	--
R2 (Special Permit)	12 ft or 25% of the lot width, whichever is greater	--
B Building Footprint	--	2,300 sf
C Story Heights	--	12 ft
D Number of Stories	--	1 story

3.2.8. Duplex

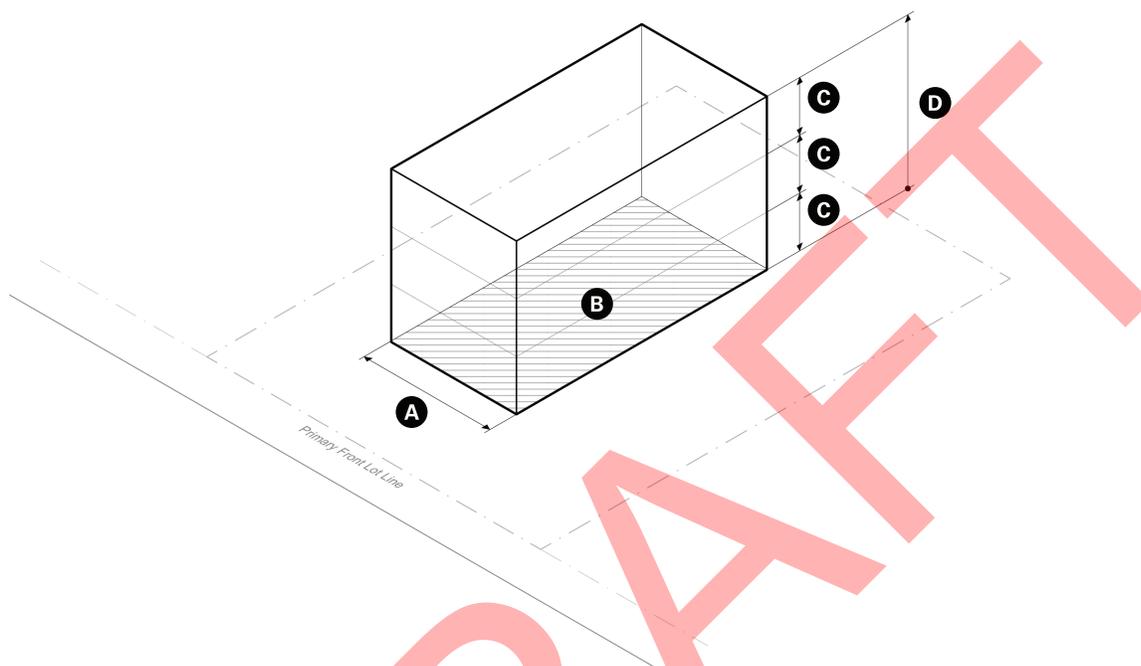
The Duplex building type is common in Newton’s traditional mill village areas like the Upper Falls and Nonantum, as well as in early commuter neighborhoods near transit like West Newton, Newtonville and Auburndale. Duplex building types are organized with one unit above and one below, or the second floor is split between the two units as in the case of a “Philadelphia-style” duplex.



Building Dimensions	min	max
A Front Elevation Width R3 R4 N	12 ft or 25% of the lot width, whichever is greater	--
B Building Footprint	--	1,800 sf
C Story Heights	--	12 ft
D Number of Stories	--	2.5 stories

3.2.9. Triple Decker

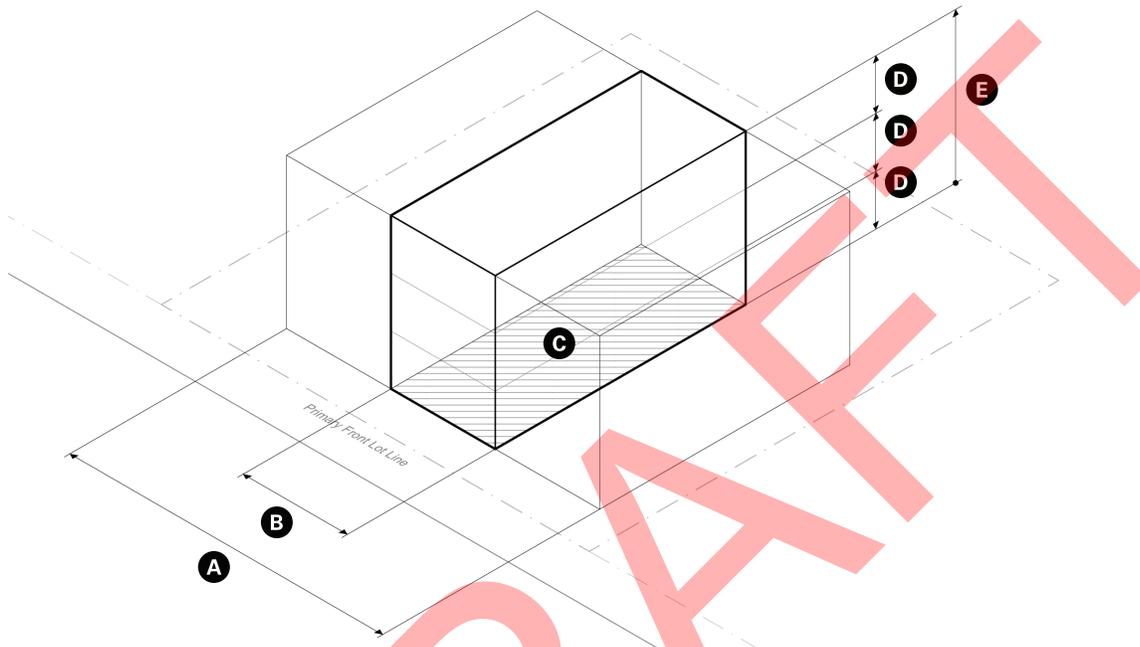
A small multi-unit residential building containing 3 units, vertically stacked. The scale of a Triple Decker is similar to 1- and 2-unit building types nearby, just with a few smaller than average units. Triple Decker building types were commonly built during the industrial revolution, a building type unique to New England communities.



Building Dimensions		min	max
A Front Elevation Width R3 (Special Permit) R4	12 ft or 25% of the lot width, whichever is greater	--	--
N	12 ft or 40% of the lot width, whichever is greater	--	--
B Building Footprint	--	--	1,800 sf
C Story Heights	--	--	12 ft
D Number of Stories	--	--	3 stories

3.2.10. Townhouse Section

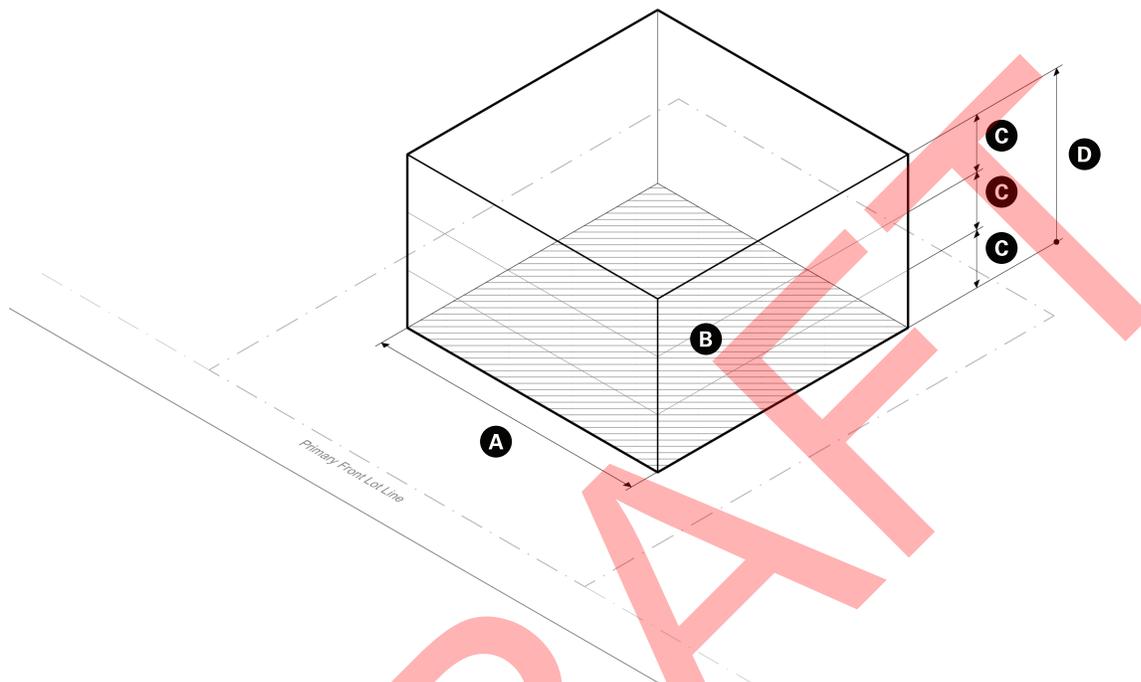
A series of connected one- to two-unit houses, called townhouse sections, with separate entrances. The townhouse section building type first are seen in Newton in the late -18th century, but most townhouses in Newton date from the late 20th and early 21st century. Traditional townhouses come up to the street with alley access from the rear. Assemblages of 3 or 4 townhouse sections are found in neighborhoods across Newton. Large townhouse complexes are more typically found in southern Newton.



Building Dimensions	min	max
A Front Elevation Width N	12 ft or 40% of the lot width, whichever is greater	--
B Building Width	--	28 ft
C Building Footprint	--	1,500 sf
D Story Heights	--	12 ft
E Number of Stories	--	3 stories

3.2.11. Small Apartment House

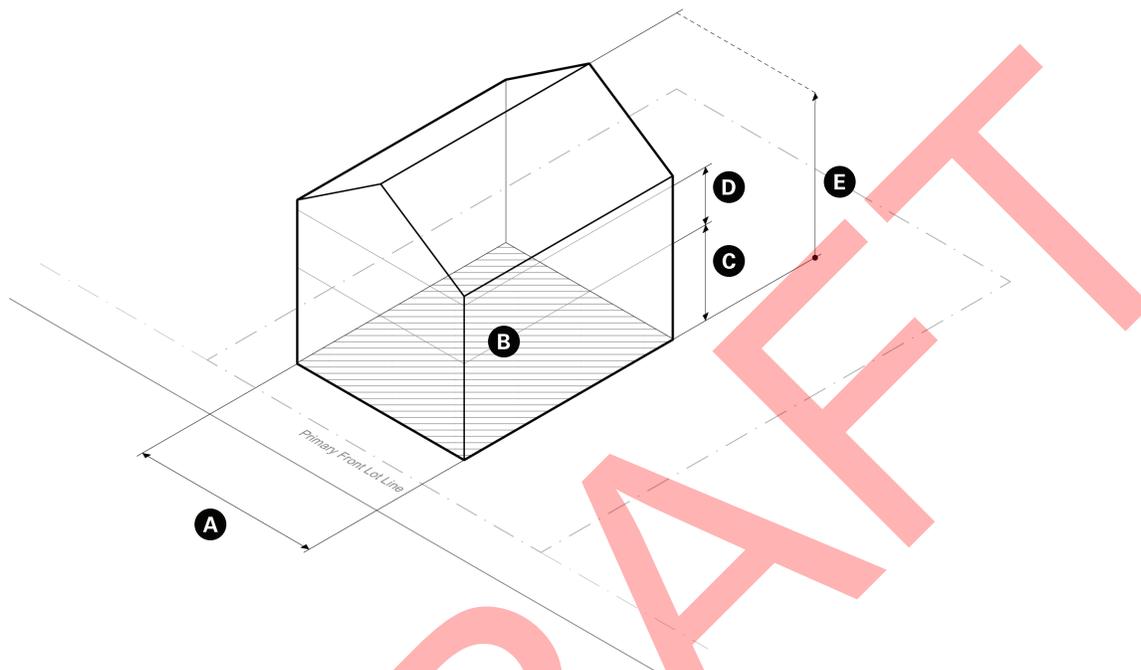
A Small Apartment House is small multi-unit residential building. Whether built as a stand-alone building or as part of a complex, small apartment buildings typically are no taller than the peak of the roof of houses in the surrounding neighborhood and approximately the footprint of two mid-large attached house building types.



Building Dimensions		min	max
A Front Elevation Width R4 (Special Permit)	12 ft or 25% of the lot width, whichever is greater	--	--
N	12 ft or 40% of the lot width, whichever is greater	--	--
B Building Footprint	--	--	3,600 sf
C Story Heights	--	--	12 ft
D Number of Stories	--	--	3 stories

3.2.12. Shop House

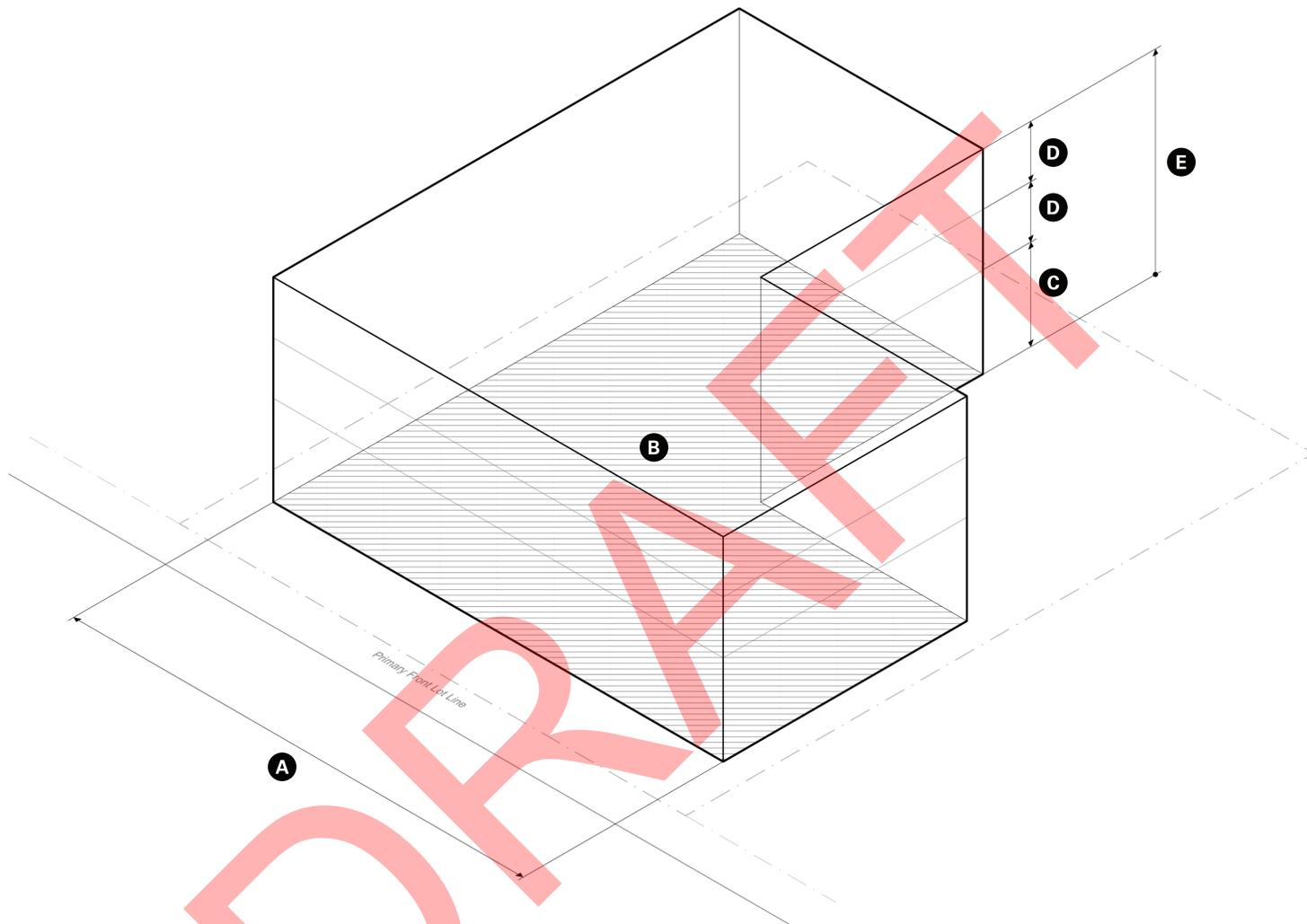
A small mixed-use building, typically a house with a ground floor shopfront containing a commercial use. Shop houses typically start as house or townhouse section building types with a shopfront added to the front elevation. Shop houses are commonly found at the edges of Newton’s traditional village centers and can contain a variety of uses. Often shop houses are grouped together as multi-building assemblages.



Building Dimensions	min	max
A Front Elevation Width N	12 ft or 40% of the lot width, whichever is greater	--
B Building Footprint	--	2,000 sf
C Ground Story Height	--	20 ft
D Upper Story Heights	--	12 ft
E Number of Stories	--	2.5 stories

3.2.13. Small Multi-Use Building

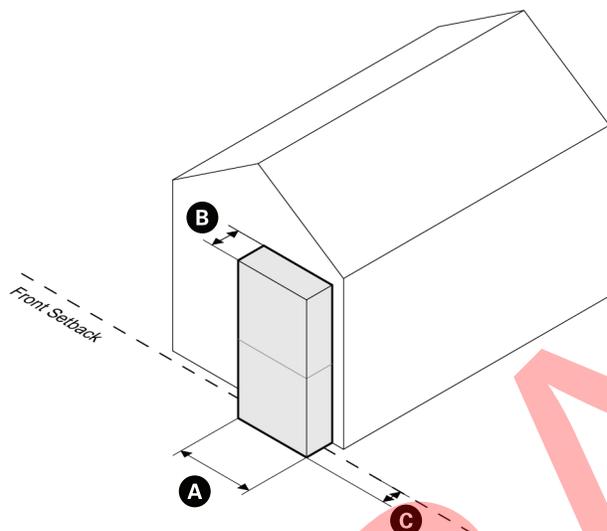
A small mixed-use building that has ground floor commercial activity along the frontage and either residential or commercial uses on the upper floors. Small multi-use building types are found in many village centers in Newton.



Building Dimensions	min	max
A Front Elevation Width N (Special Permit)	12 ft or 40% of the lot width, whichever is greater	--
Building Width	--	100 ft
B Building Footprint	--	12,000 sf
C Ground Story Height	14 ft	24 ft
D Upper Story Heights	10 ft	14 ft
E Number of Stories	--	3 stories

3.3.2.A Bay

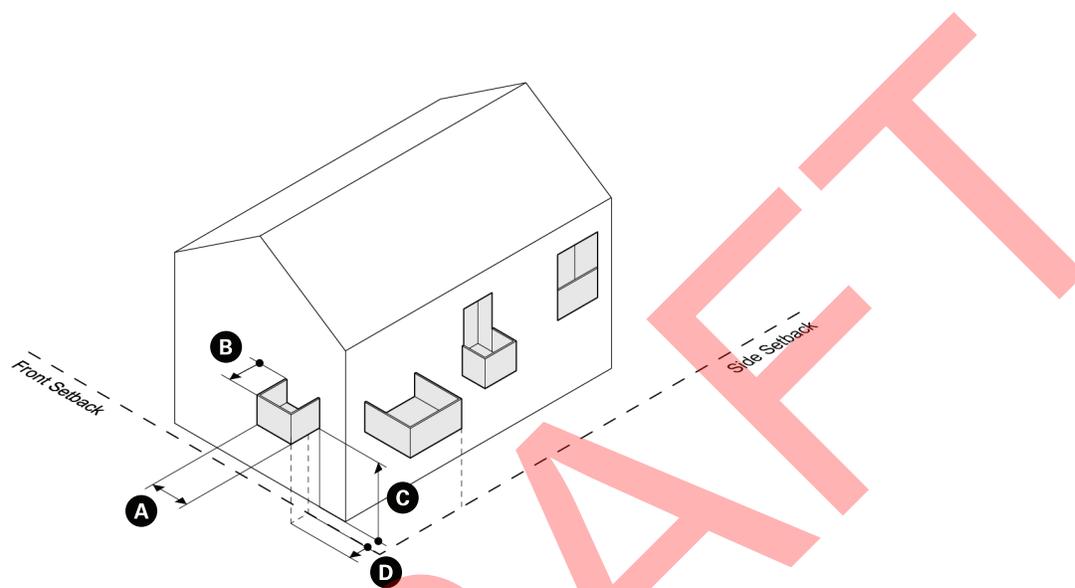
A bay is a window assembly extending from the main body of a building to permit increased light, provide multi-direction views, and articulate a building wall. Two Bays can connect around corners to create distinctive living space or terminate in an important axis.



Dimensions	min	max
A Width (each bay)	--	Greater than 20% of wall length or 12 ft
B Depth	--	6 ft
C Front Setback Encroachment	--	3 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.2.B Balcony

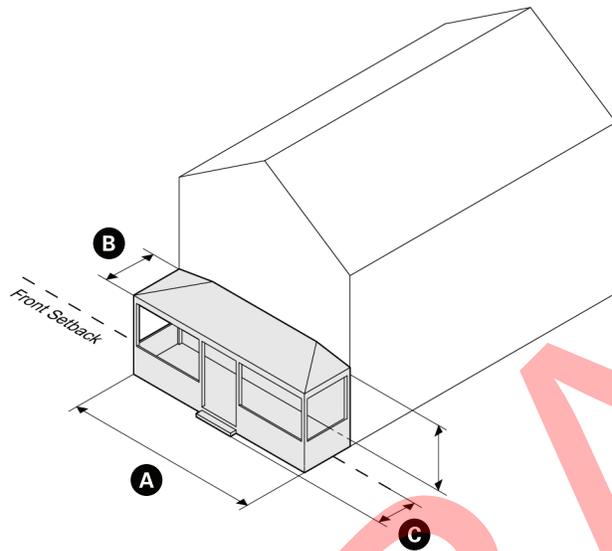
An unenclosed platform with a railing that provides outdoor amenity space on upper stories.



Dimensions	min	max
A Width (each balcony)	5 ft	Greater than 20% of wall length or 12 ft
B Depth	3 ft	8 ft
C Clearance	10 ft	--
D Front Setback Encroachment	--	3 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.2.C Porch

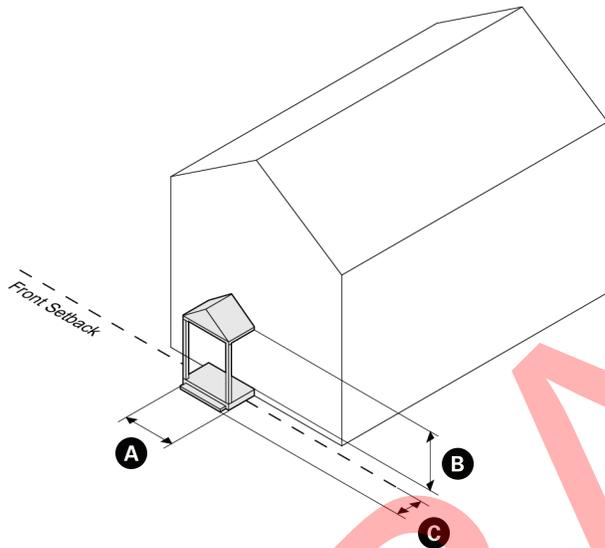
An unenclosed platform connected to a principal building that provides outdoor amenity space forward of the front elevation.



Dimensions	min	max
A Width	8 ft	Same as Principal Building elevation width
B Depth	6 ft	--
C Front Setback Encroachment	--	6 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.2.D Projecting Entry

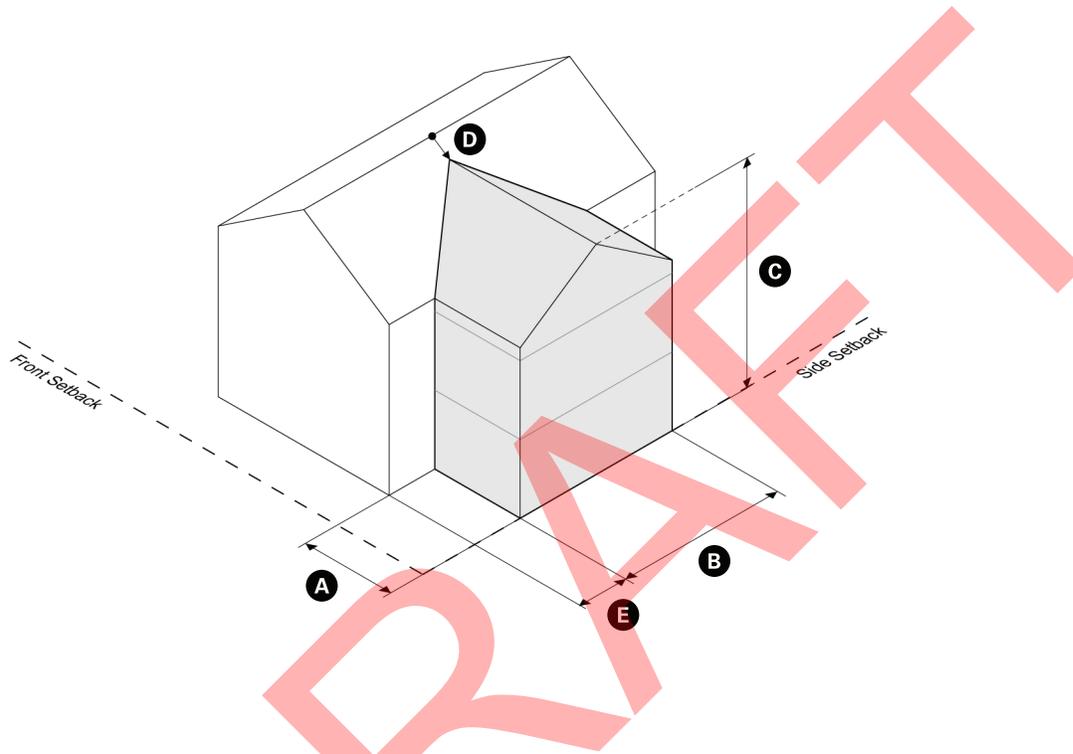
An enclosed or unenclosed entry to a principal building.



Dimensions	min	max
A Width	4 ft	8 ft or 20% of the Principal Building elevation whichever greater
B Ceiling Height	--	12 ft
C Front Setback Encroachment	--	4 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.2.E Side Wing

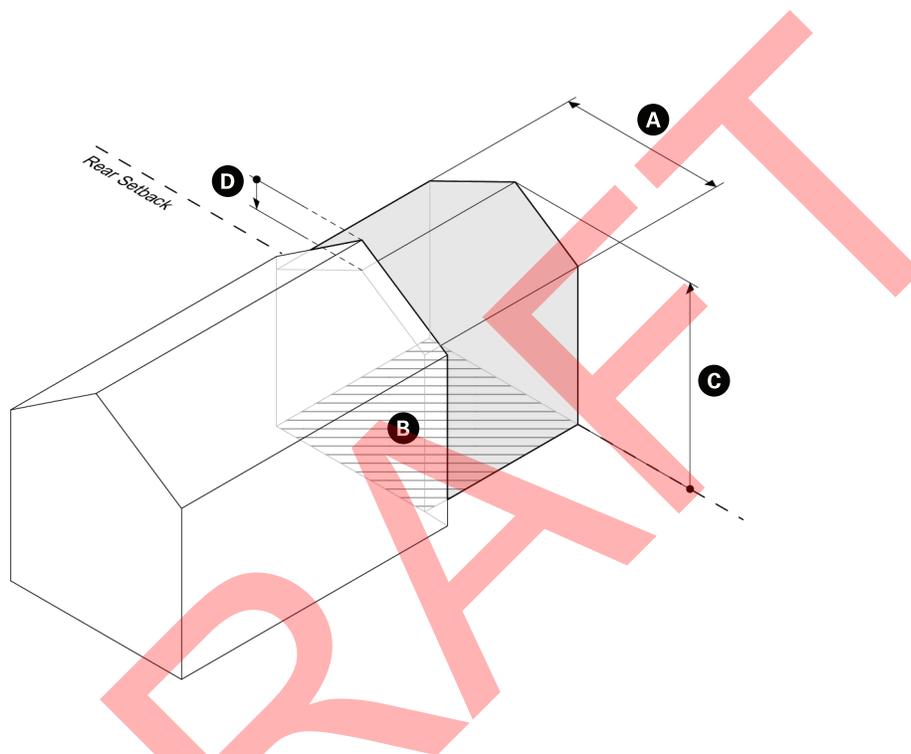
A multi-story extension from one or more side walls of a building. A Side Wing constitutes a Building Component only if its addition to the Main Massing of a Principal Building would exceed the maximum Building Footprint for that Building Type. A Side Wing added to a Principal Building that does not exceed the maximum Building Footprint for that Building Type shall be part of the Main Massing of the building.



Dimensions	min	max
A Width	--	50% of Front Elevation width
B Depth	--	100% of Front Elevation width
C Height	--	Stories equal to the principal building type
D Roof Ridge Offset	4 ft	--
E Setback from Front Elevation	8 ft	--
Front Setback Encroachment	--	0 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.2.G Rear Addition

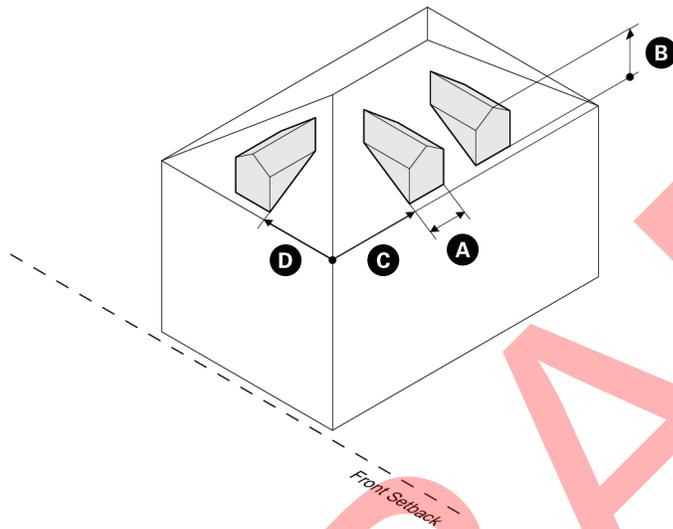
A rear addition is an extension from the rear wall of a building. A Rear Addition constitutes a Building Component only if its addition to the Main Massing of a Principal Building would exceed the maximum Building Footprint for that Building Type. A rear addition added to a Principal Building that does not exceed the maximum Building Footprint for that Building Type shall be part of the Main Massing of the building.



Dimensions	min	max
A Width	--	Max width of rear wall less 2 ft
B Footprint	--	50% of Principal Building Footprint
C Height	--	Stories equal to the principal building type
D Roof Ridge Offset	--	4 ft
Front Setback Encroachment	--	0 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.3.A Dormer

A Dormer is a windowed roof form that projects vertically from a sloped roof to provide light into and increase the habitable space of a half-story. A Dormer constitutes a Building Component only if its addition to the Main Massing of a Principal Building would exceed the maximum Number of Stories or Story Height for that Building Type. A dormer added to a Principal Building that does not exceed the maximum Number of Stories or Story Height for that Building Type shall be part of the Main Massing of the building.

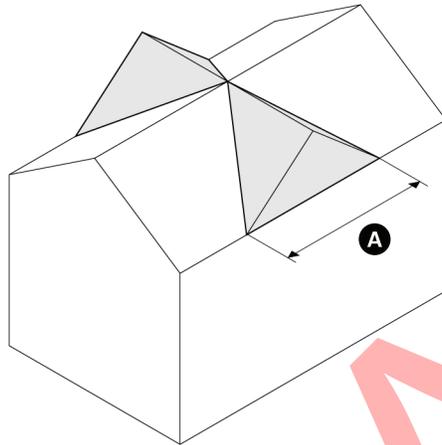


Dimensions	min	max
A Width of each Dormer	--	Window(s) width + 18 in. No dormer may be wider than 50% of the length of the exterior wall of the story next below
Width of all Dormers on the same side of the roof combined	--	must not exceed 50% of the length of the exterior wall next below
B Height of Dormer	--	may not extend above the roof ridge line

Dimensions	min	max
C Side Wall Setback Roof with eave Roof without eave	0 ft 1 ft	-- --
D Front and Rear Wall Setback	3 ft	--
Front Setback Encroachment	--	0 ft
Side & Rear Setback Encroachment	--	0 ft

3.3.3.B Cross Gable

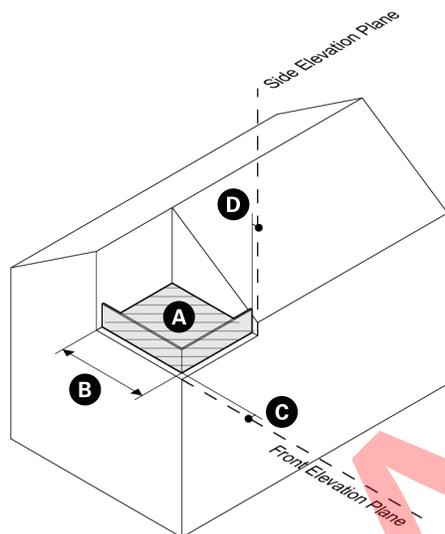
A cross gable is a sloped roof that projects perpendicularly from the main roof of a building to increase the habitable space of a half story or add architectural distinction to a half-story.



Dimensions	min	max
A Width	--	may not exceed 50% of the eave length of the roof to which it connects

3.3.3.C Roof Deck

A raised uncovered platform with a railing on the roof of a building that provides outdoor amenity space and access to views.



Dimensions	min	max
A Area	--	the lesser of 400 sf or 20% of the footprint of the building
B Width	--	50% of the building width, except on a flat roof it may extend up to the full width of the roof
Setback from building elevation		
C Front	10 ft	--
D Side and Rear	5 ft	--
	*waived if the parapet wall is utilized as the roof deck guardrail, provided it is sufficient height.	



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Office of the Mayor

#346-20

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(617) 796-1089
Email
rfuller@newtonma.gov

July 24, 2020

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton, MA 02459

To the Honorable City Councilors:

I am pleased to reappoint Doug Cornelius of 15 Lockwood Road, West Newton as an at-large member of the Newton Historical Commission. His term of office shall expire on July 31, 2023 and his appointment is subject to your confirmation.

Thank you for your attention to this matter.

Warmly,

Ruthanne Fuller
Mayor

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NEWTON, MA. 02459

Application Form

Profile

Doug _____ Cornelius _____
First Name Middle Initial Last Name

Email Address

15 Lockwood Road _____
Home Address Suite or Apt

West Newton _____ MA _____ 02465
City State Postal Code

What Ward do you live in?

Ward 3

Primary Phone

Alternate Phone

Beacon Capital Partners, LLC _____ Chief Compliance Officer
Employer Job Title

Which Boards would you like to apply for?

Newton Historical Commission: Submitted

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why are you interested in serving on a board or commission?

I have enjoyed working on the NHC for the past three years. I think it's important to represent the board given its broad jurisdiction over such a large portion of Newton's real estate. I'm currently serving on the working group that is proposing an overhaul to the NHC's ordinances.

Resume_Doug_Cornelius.pdf
Upload a Resume

Doug Cornelius

15 Lockwood Road, West Newton



Professional Background

Beacon Capital Partners, LLC

Chief Compliance Officer
2008-present

- Oversee and develop the compliance program for a real estate private equity firm that invests in class A commercial office properties.
- Monitor firm activities for compliance with offering documents, legal documents, and regulatory requirements.
- Conduct regular training and presentations to employees on compliance.
- Ensure compliance by the firm with the Investment Advisers Act.
- Member of the firm's investment committee, valuation committee and treasury committee to oversee compliance and risk analysis.
- Registered the firm with the Securities and Exchange Commission and successfully lead the firm through an examination by the regulator.

Goodwin Procter LLP

Associate / Senior Real Estate Attorney
1995 - 2008

- Represented clients investing in real estate across the country through a variety of investment vehicles.
- Supervised local counsel in addressing local law issues, zoning and permitting review.
- Structured real estate investments to limit liability, control management, limit UBIT exposure, comply with REOC requirements and limit negative tax implications.
- Represented public REITs, private investment funds, and real estate investment managers in mortgage financings, joint ventures, conventional acquisitions and portfolio acquisitions.
- Lead teams of lawyers and paralegals through the diligence, negotiation and closing phases of real estate transactions.

Goodwin Procter LLP

Knowledge Management Attorney
2001 - 2008

- Responsible for developing tools and processes to identify, create and distribute knowledge for reuse, awareness and learning across the firm.
- Developed form documents through self-publication and meetings of practitioners.
- Collected and organized precedent documents.
- Developed best practices in the real estate group and other business law practice groups.

Community Involvement

Newton Historical Commission Joined the NHC in August 2017.

Blue Ribbon Commission Served on this commission in 2019 to review the compensation for Newton's elected officials. Co-authored the final written report.

Peirce Extended Day Program, Inc. Served on the Board of Directors for the after-school program from 2012 through 2019. Held the positions of Secretary, President, Vice president and chair of the fundraising committee.

Neighborhood Club Currently serve as a member of the Board of Directors of this West Newton social and tennis club. Joined the Board in 2015 and currently serve as co-president and webmaster.

Charles River Watershed Association Water quality sampling volunteer since 2015

Williams School PTO Served on the board from 2009 to 2011, including as co-president

Pan Mass Challenge Seven-year rider and fundraiser

Education and Certifications

Boston University School of Law

Juris Doctor, *cum laude*, 1995

Enrolled in dual degree for a Masters in Historic Preservation Studies, but did not complete.

Brandeis University

Bachelor of Arts, 1989

Admitted to the Massachusetts Bar

Investment Adviser Certified Compliance Professional

Publications

Compliance Building .com

A regular publication on compliance and business ethics

<http://compliancebuilding.com>

The US Private Equity Fund Compliance Guide, Volume III

PEI Media (November 2015)

Chapter 8: SEC Examinations: How to Successfully Handle the Process

The US Private Real Estate Fund Compliance Guide (2012)

Chapter 1: SEC Registration for private real estate advisers

The US Private Equity Fund Compliance Companion (2012)

Chapter 9: Chief Compliance Officer Hiring and Outsourcing

Sample Speaking Engagements

The Evolving Role of Compliance in the Valuation Process

Private Fund Compliance Forum 2015
May 2015

Maneuvering your way through an SEC exam

Private Fund Compliance Forum 2014
May 2014

Regulation: Evolution or revolution for real estate

PERE CFO Forum 2013
July 2013

Geek Parenting

PAX East
March 2013

Social Media & Social Networking: Some Cautionary Tales

Enterprise 2.0
June 2011

Have you been Dodd-Franked?

Real Estate Finance Association
December 2010

Sample Real Estate Transactions

Chatham Plaza Shopping Center

Representation of a publicly-traded real estate investment trust in the acquisition of retail shopping center. I also worked with the company in its later transfer of the property into a fund sponsored by the company.

Hyatt Vineyard Creek

Represented a private investment fund in a follow-up transaction for the acquisition and financing of this California hotel. The investment required the acquisition of rights from the municipality and assumption of a structured ground lease from the local redevelopment agency.

Key Bank Building

Represented a publicly-traded real estate investment trust in the acquisition of a single tenant, bondable leased office building. The acquisition was structured as a DownREIT and included the assumption of the existing development bond mortgage financing.

Affordable Housing Mortgage Loans

Representation of a private investment fund in the origination of mortgage loans for affordable housing across the country. The loans were typically construction loans that convert to long-term permanent loans after completion of construction.



Ruthanne Fuller
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July 24, 2020

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton, MA 02459

To the Honorable City Councilors:

I am pleased to reappoint Peter Dimond of 18 Sterling Street, West Newton as a full member of the Newton Historical Commission. His term of office shall expire on May 13, 2022 and his appointment is subject to your confirmation. The Newton Historical Commission members have three-year terms staggered over the three year period in accordance with state statute. Mr. Dimond will be serving the term expiring May 2022.

Thank you for your attention to this matter.

Warmly,

Ruthanne Fuller
Mayor

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Application Form

Profile

Peter _____ Dimond _____
 First Name Middle Initial Last Name

 Email Address

18 Sterling Street _____
 Home Address Suite or Apt

West Newton _____ MA _____ 02465
 City State Postal Code

What Ward do you live in?

Ward 3

 Primary Phone Home: _____
 Alternate Phone

Plays the Drama Magazine for _____
 Young People Publisher
 Employer Job Title

Which Boards would you like to apply for?

Newton Historical Commission: Submitted

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why are you interested in serving on a board or commission?

As Historic Newton's representative on the Commission I have felt it a honor to serve my City. In this effort I feel that I have provided an important voice in balancing the needs of Newton's neighborhoods and historic buildings with the rights of our property owners. I would appreciate the opportunity to continue to make fair and responsible decisions that protect Newton's past while creating opportunities for it to grow in the future.

Peter Dimond_resume.docx
 Upload a Resume

Peter Dimond
18 Sterling Street
West Newton, MA 02465
[REDACTED]

Experience with Newton History

- Newton Historical Commission as Historic Newton representative, Sept 2014-present.
- President of Historic Newton (2003-2007). Member of the Board 19 years.
- Prime mover in getting the Durant-Kenrick Home and Grounds restoration project off the ground, helping to win the support of the Historic Newton Board, CPC, and Aldermen
- Prime mover in rebranding the Newton Historical Society as Historic Newton
- Prime mover in developing and launching the historic marker program for Newton's buildings...now grown to grace over 750 homes
- Participated in fifteen Historic Newton house tours as a guide and a visitor; participated in a great many neighborhood walking tours
- Lived for the past 30+ years in an 1897 West Newton house and have spent considerable time providing it with the stewardship a home of that age deserves
- Served on Board and Co-president of Neighborhood Club (West Newton) with responsibility for maintaining historically-significant clubhouse and tennis/social club

Professional Experience

Current employment:

Publisher, *Plays the Drama Magazine for Young People*. Also, communications consultant specializing in strategy development, media relations, and crisis communications.

Past employment:

- Director of Communications for Commonwealth Electric, Commonwealth Gas, and Cambridge Electric Light Company, with responsibility for media relations, employee communications, community relations, and consumer information.
- Director of Communications for Massachusetts Bay Transportation Authority, with responsibility for media relations, crisis communications, community relations, special events, and marketing communications.
- Also, wrote environmental impact statements for architecture/planning firms, researched and wrote on transportation issues for US DOT, carried out communications programs for the Massachusetts Housing Finance Agency, and taught elementary school.

Education

- Boston University: Bachelor's degree in Public Relations
- Boston University: Master's degree in Urban Studies/City Planning



Ruthanne Fuller
Mayor

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Office of the Mayor

#348-20

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rfuller@newtonma.gov

July 24, 2020

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton, MA 02459

To the Honorable City Councilors:

I am pleased to reappoint Jeffrey Riklin of 37 High Street, Newton Upper Falls as a full member of the Newton Upper Falls Historic District Commission. His term of office shall expire on July 31, 2023 and his appointment is subject to your confirmation.

Thank you for your attention to this matter.

Warmly,

Ruthanne Fuller
Mayor

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Profile

Jeffrey _____ Riklin _____
First Name Middle Initial Last Name

Email Address

37 High St. _____
Home Address Suite or Apt

Newton Upper Falls _____ MA _____ 02464
City State Postal Code

What Ward do you live in?

Ward 5

Primary Phone

Alternate Phone

New England Homecrafters, Inc. _____ President
Employer Job Title

Which Boards would you like to apply for?

Newton Upper Falls Historic District Commission: Submitted

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why are you interested in serving on a board or commission?

I have served on this board for more than 20 years, am now the Chair, and I would like to continue my public service on this board.

[2020 J. Riklin commercial resume.pdf](#)
Upload a Resume

**Jeffrey Riklin
37 High Street
Newton Upper Falls, MA 02464**

PROFESSIONAL AFFILIATIONS:

Chelsea Restoration Corporation- 2011- present- part-time consultant and rehab specialist to this non-profit housing agency.

Newton Upper Falls Area Councilor, 2006- present.

Newton Upper Falls Historical Commission, 2000-present, member of the board, now Chairman.

Newton Upper Falls CDC, 2003- present, Vice President of the board.

Boston Building Materials Coop- Board of Directors 1985-97; President 1993-97.

The Building Materials Resource Center- Board of Directors 1993-97; President 1993-97.

Member of the Zoning Committee of the Jamaica Plain Neighborhood Council 1987-1990, responsible for developing the IPOD to rezone Jamaica Plain.

LICENSURE:

MA State Construction Supervisor's License (#043253)

Home Improvement Contractor's License (#102868)

Moderate Risk License (MR#001159)

MA Lead Inspector's License (#4049)

LANGUAGES: Bilingual Spanish/English.

REFERENCES: Available upon request.

PERSONAL: Resident of Newton Upper Falls for 21 years, Newton for 29 years, married to Liz with three children: Leah, 33, Eric,30, and Allison, 19. Coach at Newton South HS in Boys' Soccer and Nordic Skiing, and Newton North HS for Boys' Lacrosse.



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Office of the Mayor

#349-20

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rfuller@newtonma.gov

July 24, 2020

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton, MA 02459

To the Honorable City Councilors:

I am pleased to reappoint Mark Armstrong of 61 Vaughn Avenue, Newton Highlands as a full member of the Newton Historical Commission. His term of office shall expire on July 23, 2023 and his appointment is subject to your confirmation.

Thank you for your attention to this matter.

Warmly,

Ruthanne Fuller
Mayor

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NEWTON, MA. 02459

Application Form

Profile

Mark Armstrong
First Name Middle Initial Last Name

[Redacted]
Email Address

61 Vaughn Ave. Suite or Apt
Home Address

Newton Highlands MA 02461
City State Postal Code

What Ward do you live in?

Ward 5

[Redacted] Home:
Primary Phone Alternate Phone

Office of Mark Armstrong Architect
Employer Job Title

Which Boards would you like to apply for?

Newton Historical Commission: Submitted

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why are you interested in serving on a board or commission?

My civic duty.

Historical Commission Resume Mark Armsrong.pdf

Upload a Resume

Mark A. Armstrong



AIA - LEED AP BD+C - NCARB
61 Vaughn Avenue
Newton MA 20461

Experience

2001-present	Office of Mark Armstrong Architect Boston, MA Principal	24 Holyoke Street Redevelopment, Cambridge, MA Article 24 Restaurant, Boston, MA Harrington Residence, NY, NY Peacher Residence, Weston, MA Meeks Residence, Atherton, CA Commonwealth Avenue Residence, Boston, MA Bergstrand Residence, Chestnut Hill, MA Marty's Fine Wines, Newton, MA WOO Restaurant, Las Vegas, NV Mackinnon Residence, Wellesley, MA Morris Loft, Boston, MA Mussafer Residence, Weston, MA Park Place Condominiums, Brookline, MA Chandler Street Lofts, Boston, MA Commercial Wharf Lofts, Boston, MA The Fireplace Restaurant, Brookline, MA Piedmont Street Lofts, Bay Village, Boston, MA Lexington Street Condominiums, Newton, MA
2008-2009	ADD Inc. Boston MA Senior Architect	UMass McCormack Hall Renovation Study, Boston, MA MassArt South Hall Renovation Study, Boston, MA
1990-2001	Leers Weinzapfel Associates Boston, MA Senior Architect	Harvard University Science Center Addition, Cambridge, MA, MIT School of Architecture Renovations, Cambridge, MA Berkeley College of Music, Office of the President, Boston, MA Electronic Frontier Foundation, Cambridge, MA MBTA Commuter Rail Station Prototype, Newburyport, MA MBTA Park Street Green Line Station Renovations, Boston, MA
1989-1990	Koetter, Kim & Associates Boston, MA Staff Architect	Saint Paul's Church and Rectory, Cambridge, MA
1987-1989	Hickox Williams Architects Boston, MA Designer	90 Appleton Street, multifamily row house renovation 28 West Cedar Street, multifamily row house renovation
Education		
1983-1986	Yale University School of Architecture	Master of Architecture
1982	Barbieri Center, Rome, Italy	Center for Architecture and Art History
1979-1983	Wesleyan University	Bachelor of Arts: Art/Architecture

Community

2009-present Auburndale Historic Commission
 Newton Historical Commission
 Newton Community Preservation
 Commission

1992-present Boston Society of Architects

Registration

1989-present Licensed Architect in Massachusetts

1995-present NCARB certification



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Office of the Mayor

#350-20

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Email
rfuller@newtonma.gov

July 24, 2020

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton, MA 02459

To the Honorable City Councilors:

I am pleased to reappoint Nancy Grissom of 7 Orris Street, Auburndale as a full member of the Newton Historical Commission. Her term of office shall expire on July 10, 2021 and her appointment is subject to your confirmation. The Newton Historical Commission members have three-year terms staggered over the three year period in accordance with state statute. Ms. Grissom will be serving the term expiring July 2021.

Thank you for your attention to this matter.

Warmly,

Ruthanne Fuller
Mayor

CITY CLERK
NEWTON, MA, 02459

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Profile

Nancy _____ Grissom _____
First Name Middle Initial Last Name

Email Address

7 Orris St. _____
Home Address Suite or Apt

Auburndale _____ MA _____ 02466
City State Postal Code

What Ward do you live in?

Ward 4

Primary Phone

Alternate Phone

Hammond Residential _____ Realtor/Salesperson
Employer Job Title

Which Boards would you like to apply for?

Auburndale Historic District Commission: Submitted
Newton Historical Commission: Submitted
Newtonville Historic District Commission: Submitted

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why are you interested in serving on a board or commission?

This is my letter of interest to be reappointed to the Auburndale and Newtonville Local Historic District Commissions as well as the Newton Historical Commission. I have been the representative of the Newton Historical Commission to the Local historic district commissions in recent years. I am currently chair of the Newton Historical Commission. I believe that two of the commissions have been renewed recently. I can't remember which one has not. I have attached my resume to this letter. Thank you for your consideration.

[Newton_historical_commission_Resume.pdf](#)
Upload a Resume

Nancy Grissom
7 Orris St
Auburndale, Ma 02466



- Resident of Newton for over 40 years. Owner of a house built in 1886.
- Realtor/Salesperson with in Newton for over 22 years, currently associated with Hammond Residential in Chestnut Hill.
- GRI and CRS real estate designations.
- Active with the Greater Boston Association of Realtors, currently serving on Grievance and Professional Standards Committees
- Member of the Newton Historical Commission since 2000 with nearly perfect attendance.
- Member of the Auburndale and Newtonville Local Historic Districts as a representative of the Newton Historical Commission.
- President of the Friends of the Newton Free Library.
- Long term interest in Preservation as member and volunteer for Historic New England and Historic Newton for more than 35 years.
- Nearly 30 years experience in the high tech computer industry working for New England Life Ins Co, Digital Equipment, and Data General Corporation – first as a programmer, later in application software product development, and finally in federal sales and marketing.
- Mount Holyoke graduate, where I took courses in architecture.